

**AGENDA**  
**MUNICIPAL PLANNING COMMISSION**  
**COUNTY OF NORTHERN LIGHTS**  
**TUESDAY, JULY 14, 2026, at 2:00 P.M.**

<https://us02web.zoom.us/j/83553721063?pwd=kBXGQblfveUb36uXwbW789RqoLZKAC.1>

**01.0 CALL TO ORDER**

**02.0 ADOPTION OF THE AGENDA**

**03.0 ADOPTION OF THE MINUTES**

*A) Tuesday, June 23, 2026, Municipal Planning Commission Meeting Minutes*

**04.0 PLANNING AND DEVELOPMENT**

**A) Development Permits – Issued by the Development Officer**

- 1. DP26-14 – Permitted Use*
- 2. DP26-20 – Permitted Use*
- 3. DP26-21 – Permitted Use*

**B) Development Permits – To Be Issued or Discussed by MPC**

- 1. DP26-15 - Communications Tower*
- 2. DP26-16 - Detached Garage*
- 3. DP26-24 - Discretionary Use- Temporary Industrial Camp*

**C) Miscellaneous**

**05.0 ADJOURNMENT**

**MINUTES**  
**MUNICIPAL PLANNING COMMISSION**  
**COUNTY OF NORTHERN LIGHTS**  
**TUESDAY, JUNE 23, 2026, at 11:00 A.M.**

<https://us02web.zoom.us/j/83553721063?pwd=kBXGQblfveUb36uXwbW789RqoLZKAC.1>

**PRESENT:**

|                 |            |                           |
|-----------------|------------|---------------------------|
| Gary These      | Ward One   | Weberville/Stewart        |
| Kayln Schug     | Ward Two   | Warrensville/Lac Cardinal |
| Brenda Yasinski | Ward Three | Dixonville/Chinook Valley |
| Brent Reese     | Ward Four  | Deadwood/Sunny Valley     |
| Gloria Dechant  | Ward Five  | North Star/Breaking Point |
| Terry Ungarian  | Ward Six   | Hotchkiss/Hawk Hills      |
| Linda Halabisky | Ward Seven | Keg River/Carcajou        |

**IN ATTENDANCE:**

Gerhard Stickling – Chief Administrative Officer  
Josh Hunter – Director of Finance  
Charles Schwab – Director of Public Works  
Jessica Gummesen – Executive Assistant/ Recorder  
Dan Archer – Mile Zero Banner Post Reporter

**01.0 CALL TO ORDER**

Chair Dechant called the Tuesday June 23, 2026, Municipal Planning Commission Meeting to order at 11:05 a.m.

**02.0 ADOPTION OF THE AGENDA**

**028/23/06/26MPC**    **MOVED BY Councillor Schug to acknowledge receipt of the Tuesday June 23, 2026, Municipal Planning Commission Meeting Agenda and adopt it as presented.**

**03.0 ADOPTION OF THE MINUTES**

*A) Tuesday, May 26, 2026, Municipal Planning Commission Meeting Minutes*

**029/23/06/26MPC**    **MOVED BY Councillor Yasinski to acknowledge receipt of the Tuesday June 23, 2026, Municipal Planning Commission Meeting Minutes and adopt it as presented**

**04.0 PLANNING AND DEVELOPMENT**

**A) Development Permits – Issued by the Development Officer**

*1) DP-26-10 – Permitted Use*

**030/23/06/26MPC    MOVED BY Councillor Reese to acknowledge receipt of Development Permit DP-26-10 and accept it for information.  
CARRIED**

**B) Development Permits – To Be Issued or Discussed by MPC**

**C) Miscellaneous**

**05.0    ADJOURNMENT**

**Chair Dechant adjourned the Tuesday, June 23, 2026, Municipal Planning Commission Meeting at 11:07 a.m.**



**COUNTY OF NORTHERN LIGHTS**  
#600, 7th Avenue NW Box 10, Manning, AB TOH 2MO  
Ph (780) 836-3348 Fax (780) 836-3663 Toll Free 1-888-525-3481

## **DEVELOPMENT PERMIT NOTICE OF DECISION**

**APPLICATION NO.:** DP26-14  
**ROLL NO.:** 300581  
**DEVELOPMENT:** Single Detached Dwelling 200 m<sup>2</sup> (2,154 ft<sup>2</sup>)  
and Covered Deck 25m<sup>2</sup> (270 ft<sup>2</sup>)  
**USE TYPE:** Permitted Use  
**LAND USE DISTRICT:** Agricultural General (A) District  
**LEGAL DESCRIPTION (ATS Location):** NE2-85-25-W5M  
**CONSTRUCTION VALUE:** >\$250,000  
**NAME & ADDRESS OF APPLICANT(s):**

### **DECISION OF THE DEVELOPMENT AUTHORITY IN RESPECT TO THE ISSUANCE OF THE DEVELOPMENT PERMIT:**

- ☐ **APPROVED**  
☒ **APPROVED** with the following conditions  
☐ **REFUSED** for the following reason(s)

**(See below conditions and appeal procedures)**

---

### **APPROVAL GRANTED SUBJECT TO COMPLYING TO THE FOLLOWING CONDITIONS:**

1. The development shall proceed in accordance with the attached site plan and/or elevations to reflect the proposed location on NE 2-85-25-W5M.
2. The owner/developer shall comply with the uses and regulations of the Agriculture General (A) District.
3. The applicant/owner may be required to enter into and comply with a development agreement with the County to include, but not limited to, the removal of an approach, construction of a new approach, or the upgrading of an approach. When installing approaches or culverts the applicant/owner shall contact the County of Northern Lights Public Works Department to ensure the approaches are constructed in accordance with County standards. Any costs incurred will be the responsibility of the applicant/owner.
4. The applicant/owner shall comply with setbacks as per Alberta Private Sewage System Standards. However, a variance has been granted by Superior Safety Codes Inc. to allow the existing sewage discharge to be located 68 meters from the east property line adjacent to Range Road 251.

5. The owner/developer shall contact an accredited agency contracted by the Alberta Safety Codes Authority to obtain the following permits or approval applicable: Building Permit – Provincial Plumbing Permit – Gas Permit – Electrical Permit. A copy of the approved permits must be submitted to the County of Northern Lights for their files.
6. That the applicant/owner obtain all necessary environmental approvals required for development. This may include but is not limited to a Water Act approval for wetland disturbance.
7. Exterior finish to be wood, metal or similar siding, brick or stucco to the satisfaction of the Development Authority. The finish and appearance should complement other structures and natural site features.
8. No further development or construction shall be allowed without an approved Development Permit.

July 3, 2026  
DATE OF DECISION

July 3, 2026  
DATE OF ISSUE OF NOTICE OF DECISION

  
DEVELOPMENT OFFICER

*Please Note:*

*This development permit lapses and is considered void if the development approved has not commenced within twelve (12) months from the date of issue of the notice.*

## COUNTY OF NORTHERN LIGHTS

#600, 7th Avenue NW Box 10, Manning, AB T0H 2M0 Ph (780) 836-3348 Fax (780) 836-3663 Toll Free 1-888-525-3481

### IMPORTANT NOTICES

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1. You may wish to appeal the decision of the subdivision and development authority to the Subdivision and Development Appeal Board. Such an appeal shall be made in writing and shall be delivered either in person or by mail so as to reach the Secretary of the Subdivision and Development Appeal Board at the County office **NOT LATER THAN 21 DAYS AFTER THE DATE OF ISSUE OF NOTICE OF DECISION.**
2. The Land Use Bylaw provides that any person claiming to be affected by a decision of the development authority may appeal to the Secretary of the Subdivision and Development Appeal Board **WITHIN 21 DAYS AFTER THE NOTICE OF DECISION IS PUBLISHED IN THE LOCAL NEWSPAPER.**
3. A decision of the Subdivision and Development Appeal Board is final and binding on all parties and persons subject only to an appeal upon or question of jurisdiction or law pursuant to Section 689 of Municipal Government Act. An application for leave to appeal to the Appellate Division of the Supreme Court of Alberta shall be made:
  - a) to a judge of the Appellate Division; and
  - b) within Thirty (30) days after the issue of the order, decision, permit or approval sought to be appealed.



## DEVELOPMENT PERMIT APPLICATION FORM A

"An Agriculture Based Community"

|                        |            |
|------------------------|------------|
| FOR ADMINISTRATIVE USE |            |
| APPLICATION NO.        | DP26-14    |
| DATE RECEIVED          | May 5 2026 |
| ROLL NO.               | 300581     |

County of Northern Lights, # 600, 7<sup>th</sup> Ave. NW Box 10, Manning, AB, T0H 2M0

W: [www.countyofnorthernlights.com](http://www.countyofnorthernlights.com) | E: [development@countyofnorthernlights.com](mailto:development@countyofnorthernlights.com) | T: (780) 838-3348 | F: (780) 836-3663

I / We hereby make application under the provisions of the Land Use Bylaw for a Development Permit in accordance with the plans and supporting information submitted herewith and form part of this application. I / We understand that this application will not be accepted without the following:

- (a) application fee;
- (b) site plan sketch that includes all relevant detail to the proposed development (e.g.: proposed and existing structures, property lines, creeks/ravines, parking and vehicle access, building plans, etc.)

### APPLICANT INFORMATION

### COMPLETE IF DIFFERENT FROM APPLICANT

NAME OF REGISTERED OWNER

ADDRESS

POSTAL CODE

EMAIL ADDRESS\*

you agree to receive correspondence by email.

PHONE (CELL)

PHONE (RES)

PHONE (BUS)

### LAND INFORMATION

Municipal Address (if applicable):

Legal description (if applicable): Registered Plan: \_\_\_\_\_ Block: \_\_\_\_\_ Lot (parcel): \_\_\_\_\_

QTR/SE 4 Section: 28 Township: 25 Range: 25 Meridian: W5

Size of the Parcel to be developed 5 ☒ Acres or ☐ Hectares

Description of the existing use of the land: BUSH QUARTER WITH 2 acres of PASTURE + 3 acres OF YARD

Proposed Development: REBUILD HOUSE AFTER HOUSE FIRE

Circle any proposed uses(s):

☐ SIGN(S)

☐ CULVERT(S)/ ROAD ACCESS POINT(S)

☐ PUBLIC USE(S)/ UTILITIES

☒ DWELLING UNIT(S)

☐ ACCESSORY STRUCTURE(S)/ USE(S)

☐ SHED/GARAGE/BARN(S)

☐ HOME BASED BUSINESS

☐ COMMERCIAL OR INDUSTRIAL STRUCTURE(S)/ USES(S)

☐ OTHER (SPECIFY)

Estimated:

Date of Commencement: May 1-26

Date of Completion: Dec 31-26

Value of Construction: \$500,000.00



**PROPOSAL INFORMATION**

DEVELOPMENT IS: ☐ NEW ☐ EXISTING ☐ ALTERATION TO EXISTING

LAND IS ADJACENT TO: ☐ PRIMARY HIGHWAY ☒ LOCAL ROAD ☐ INTERNAL SUBDIVISION ROAD ☐ OTHER

LOT AREA: \_\_\_\_\_ LOT WIDTH: \_\_\_\_\_ LOT LENGTH: \_\_\_\_\_ PERCENTAGE OF LOT OCCUPIED: \_\_\_\_\_%

PRINCIPAL BUILDING SETBACK: FRONT: \_\_\_\_\_ REAR: 124m SIDES: 86m HEIGHT 15'

ACCESSORY BUILDING SETBACK: FRONT: \_\_\_\_\_ REAR: \_\_\_\_\_ SIDES: 1 HEIGHT \_\_\_\_\_

**ADDITIONAL INFORMATION INCLUDED**

☒ SITE PLAN ☒ FLOOR PLAN ☐ LAND TITLE ☒ ABANDONED OIL WELL DECLARATION SIGNED

☐ ALBERTA NEW HOME WARRANTY / OR PROOF OF EXEMPTION ☒ DISTANCE TO ROAD / HIGHWAY 86m

ADDITIONAL INFORMATION AS REQUIRED:

☐ ELEVATIONS ☐ SOIL TESTS ☐ HOURS OF OPERATION \_\_\_\_\_

☒ NUMBER OF DWELLING UNITS 1 ☐ NUMBER OF EMPLOYEES \_\_\_\_\_

☐ PROPOSED BUSINESS ACTIVITIES \_\_\_\_\_

☒ LANDOWNER LETTER OF AUTHORIZATION ☐ ADJACENT LANDOWNER LETTERS OF SUPPORT

**MANUFACTURED HOME (MOBILE HOME)**

SERIAL NUMBER: N/A YEAR BUILT: \_\_\_\_\_ SIZE: WIDTH \_\_\_\_\_ LENGTH \_\_\_\_\_

**DECLARATION**

I/WE HEREBY AUTHORIZE REPRESENTATIVES OF THE COUNTY TO ENTER MY/OUR LAND FOR THE PURPOSE OF CONDUCTING A SITE INSPECTION IN CONNECTION WITH THIS APPLICATION

I/WE HEREBY DECLARE THAT THE ABOVE INFORMATION IS, TO THE BEST OF MY/OUR KNOWLEDGE, FACTUAL AND CORRECT

**NOTE:**

Signature of Registered  
Landowner required if different  
from Applicant

Apr 30 - 2026  
Date

SIG

Date

SIGNATURE OF REGISTERED LANDOWNER / LEASEHOLDER

**FOR ADMINISTRATIVE USE**

LAND USE DISTRICT: agriculture general

FEE ENCLOSED: YES ☐ NO ☐ AMOUNT: \$ \_\_\_\_\_ RECEIPT NO.: \_\_\_\_\_

DEFINED USE: \_\_\_\_\_

PERMITTED/DISCRETIONARY: \_\_\_\_\_

VARIANCE: \_\_\_\_\_

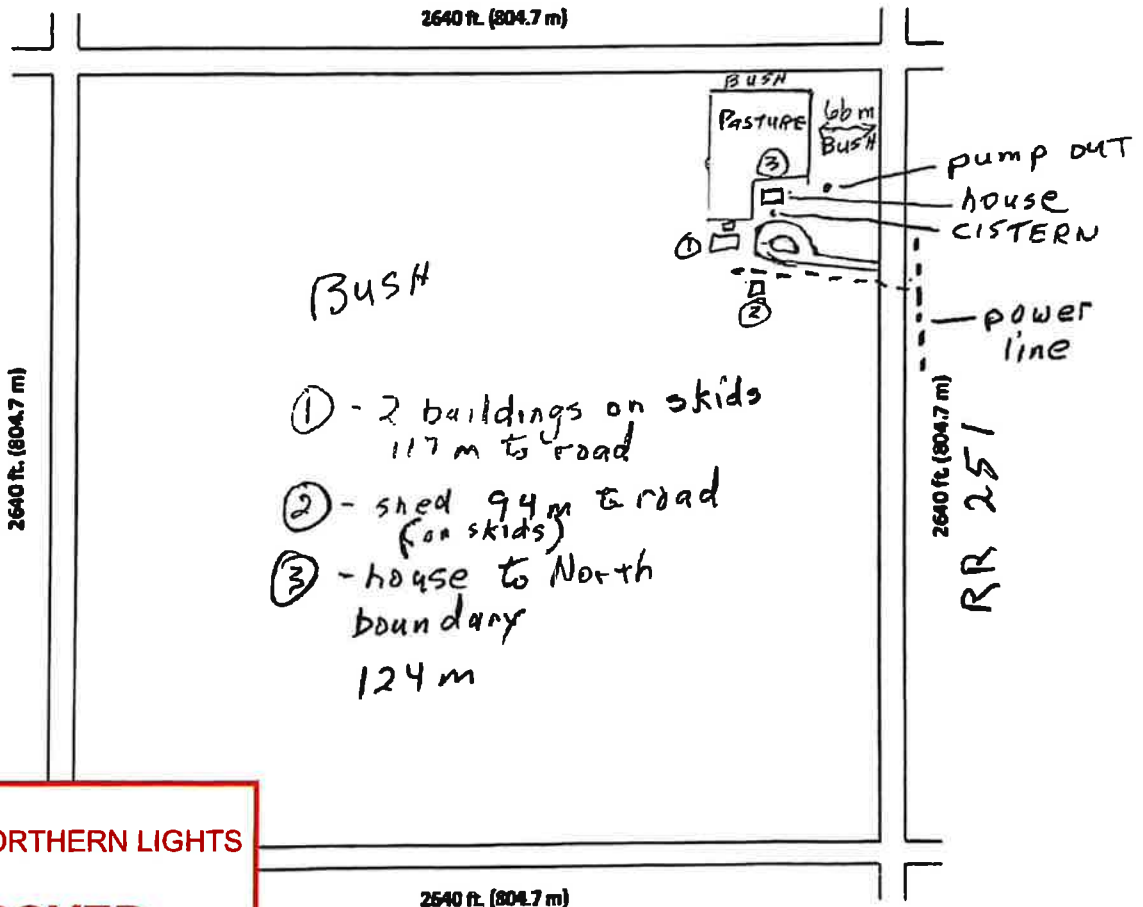


# PROPOSED DEVELOPMENT SKETCH

LEGAL NE  $\frac{1}{4}$  SEC 2 TWP 85 RG 25 W 5 M

- Parcel Boundaries/dimensions (feet, meters, etc.).
- Locate developed road allowance(s) and access points(s).
- <sup>86m</sup> Distance from all proposed boundary lines to all non-movable buildings (if applicable).
- <sup>68m</sup> Distance from residence to drinking water supply, <sup>5m</sup> sewage system outlet and all boundary lines (if applicable).
- <sup>30m</sup> Distance from <sup>cistern</sup> sewage outlet to water supply <sup>68m</sup> and all boundary lines (if applicable).
- <sup>145m + 94m</sup> Distance from water supply to all proposed boundary lines (if applicable).
- Locate additional residence(s) on the  $\frac{1}{4}$  section (if applicable).
- Locate shelterbelts, creeks, rivers, drainage ditches, railways, etc.

North



COUNTY OF NORTHERN LIGHTS

**APPROVED**

AS PER LETTER/CONDITIONS

DATED:

2026-07-03

PER:

[Signature]

Although every effort has been made to ensure accuracy and sufficient data on this set of plans it is up to the contractor to check and verify all dimensions and details. It is also the contractor's responsibility to ensure all aspects meet Alberta's National Building Code Guidelines. The drafter shall not be held liable should there be an oversight on drafted plans. Contractor is also responsible that all load bearing points, window egress sizes and setbacks are done in accordance with all applicable building codes.



**ENCRYPTED**  
DRAFTING  
DEVELOPMENTS

Specializing in Custom Blueprints  
Joe Doerksen (780) 926-1813  
Encrypted2019@hotmail.com  
Box 1029 LacRele AB T0L1 2H0

Grimshaw  
Alberta

### Square Footages

Main Floor: 2154 Sq Ft  
Basement: N/A  
2nd Floor: N/A  
Garage: N/A  
Covered: 270 Sq Ft

**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE

SCALE: As Noted

DATE: April 30, 2028

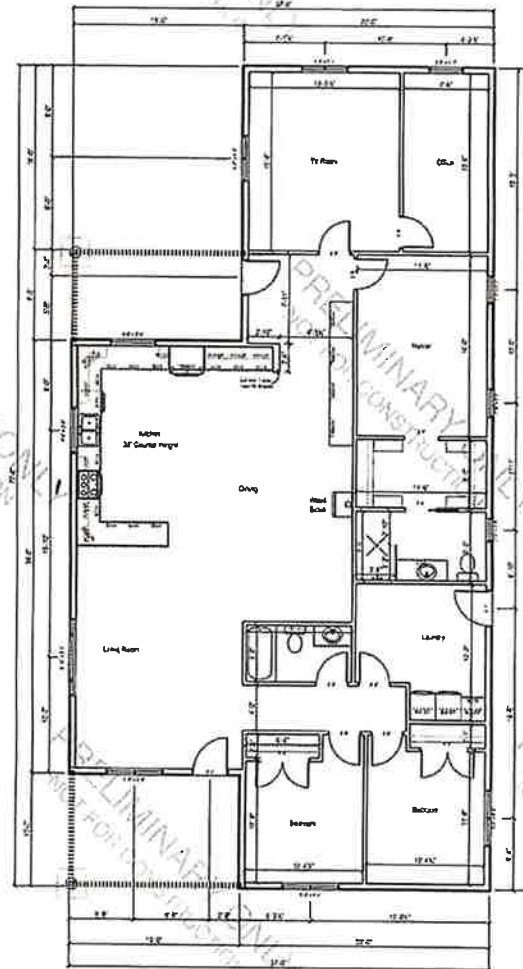


PAGE:

1 / 4

Cover Page

Although every effort has been made to ensure accuracy and sufficient data on this set of plans it is up to the contractor to check and verify all dimensions and details. It is also the contractor's responsibility to ensure all aspects meet Alberta's National Building Code Guidelines. The drafter shall not be held liable should there be an oversight on drafted plans. Contractor is also responsible that all load bearing points, window egress sizes and setbacks are done in accordance with all applicable building codes.



**MAIN FLOOR**  
SCALE: 1" = 10'-0"

## ENCRYPTED

DRAFTING  
DEVELOPMENTS

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Joe Doerksen (780) 926-1813  
encrypted2019@hotmail.com  
Box 3029 LaCrete AB T0H 2H0

Grimshaw  
Alberta

## Square Footages

Main Floor: 2154 Sq Ft  
Basement: N/A  
2nd Floor: N/A  
Garage: N/A  
Covered: 270 Sq Ft

**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE

SCALE: 1" = 10'-0"

DATE: April 30, 2028



PAGE:  
**2/4**  
Main Floor



Although every effort has been made to ensure accuracy and sufficient data on this set of plans it is up to the contractor to check and verify all dimensions and details. It is also the contractor's responsibility to ensure all aspects meet Alberta's National Building Code Guidelines. The drafter shall not be held liable should there be an oversight on drafted plans. Contractor is also responsible that all load bearing points, window egress sizes and setbacks are done in accordance with all applicable building codes.



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Grimshaw  
 Alberta

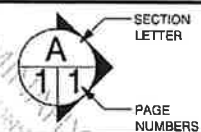
### Square Footages

Main Floor: 2154 Sq Ft  
 Basement: N/A  
 2nd Floor: N/A  
 Garage: N/A  
 Covered: 270 Sq Ft



SCALE: 3/16" = 1'-0"

DATE: April 30, 2026



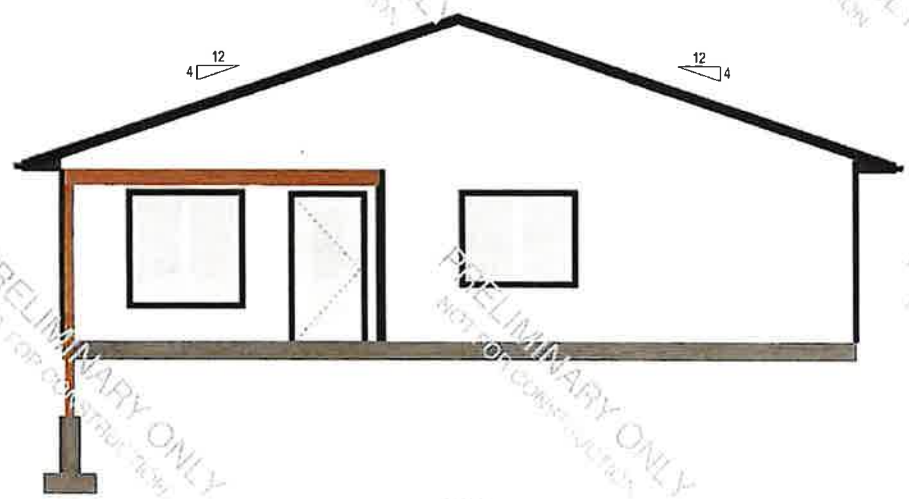
PAGE:

3/4

Front & Rear Elevation

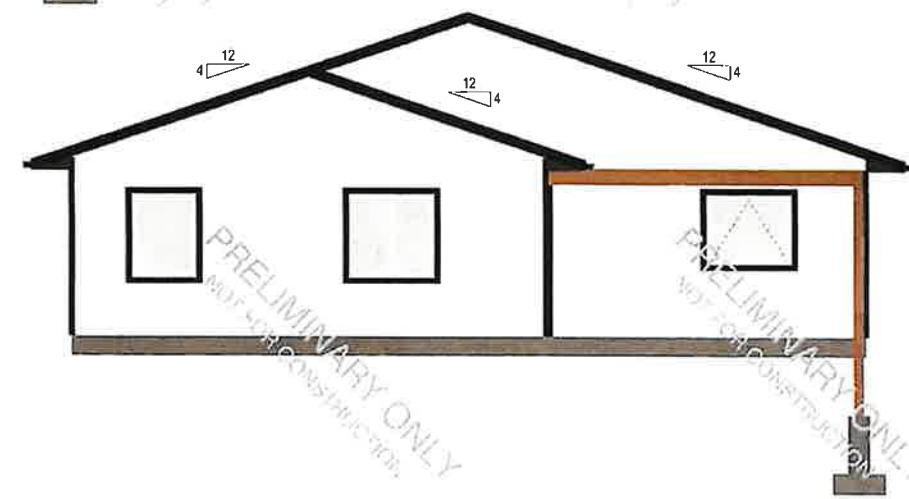
### Front Elevation

SCALE: 3/16" = 1'-0"



### Rear Elevation

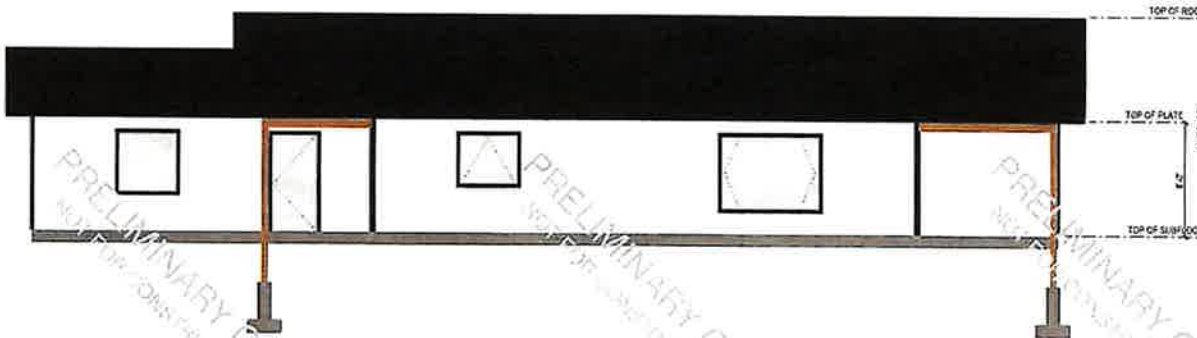
SCALE: 3/16" = 1'-0"



Although every effort has been made to ensure accuracy and sufficient data on this set of plans it is up to the contractor to check and verify all dimensions and details. It is also the contractor's responsibility to ensure all aspects meet Alberta's National Building Code Guidelines. The drafter shall not be held liable should there be an oversight on drafted plans. Contractor is also responsible that all load bearing points, window scribe sizes and setbacks are done in accordance with all applicable building codes.

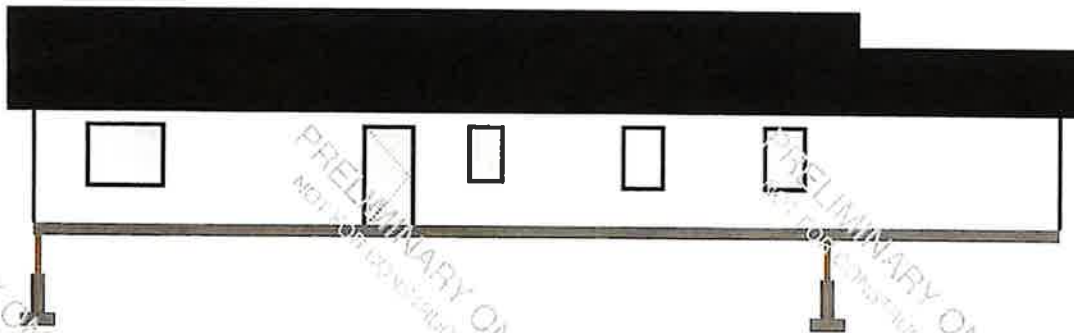
### Left Elevation

SCALE: 1/8" = 1'-0"



### Right Elevation

SCALE: 1/8" = 1'-0"



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Alberta

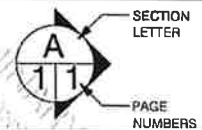
### Square Footages

Main Floor: 2154 Sq Ft  
Basement: N/A  
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Covered: 270 Sq Ft

**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE

SCALE: 1/8" = 1'-0"

DATE: April 30, 2026



PAGE:

4/4

Left & Right Elevation



## County of Northern Lights

# 600 7th Avenue NW, Box 10, Manning, AB T0H  
2M0 Phone: (780) 836-3348 Fax (780) 836-3663

### ADDITIONAL DEVELOPMENT INFORMATION

PLEASE INDICATE BELOW THE METHOD OF SEWAGE DISPOSAL AND TYPE OF DOMESTIC WATER SUPPLY TO BE USED IN RELATION TO YOUR DEVELOPMENT APPLICATION. PLEASE INDICATE ON THE SITE PLAN THE PROPOSED LOCATION AND DISTANCES OF YOUR WATER SUPPLY AND SEWAGE DISPOSAL FROM ALL PROPERTY LINES AND RESIDENCE.

#### TYPE OF DOMESTIC WATER SUPPLY (PLEASE CHECK)

- ☐ DUGOUT
  - ☐ WELL
  - ☒ CISTERN AND HAULING SERVICE
  - ☐ COMMUNITY WELL/MUNICIPAL SERVICE
  - ☐ OTHER (PLEASE SPECIFY)
- 

#### TYPE OF DOMESTIC/COMMERCIAL SEWAGE DISPOSAL (PLEASE CHECK)

- ☒ OPEN DISCHARGE/APPROVED SEPTIC TANK
  - ☐ SUB-SURFACE DISPOSAL/APPROVED SEPTIC TANK
  - ☐ ABOVE GROUND MOUND/APPROVED SEPTIC TANK
  - ☐ APPROVED SEWAGE LAGOON
  - ☐ OUTDOOR PRIVY
  - ☐ MUNICIPAL SERVICE
  - ☐ OTHER (PLEASE SPECIFY)
- 

PLEASE INDICATE IF THE ABOVE INFORMATION IS:

- a) EXISTING
- b) PROPOSED

#### FOR ADDITIONAL INFORMATION CONTACT:

MUNICIPAL AFFAIRS AND HOUSING, Public Safety Department  
PEACE RIVER, AB  
PHONE: 1-866-421-6929

00132748

Range Road 251

Alberta Energy Regulator, Esri, NASA, NGA, USGS, FEMA, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

DP26-14

Base Data provided by: Government of Alberta

Author:

YYY

Print Date:

5/6/2026

## Legend

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                      |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> <li>Abandoned Wells</li> <li>Revised Location</li> <li>Illustrated Location Point</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | <b>Roads - Other</b> <ul style="list-style-type: none"> <li>Unimproved</li> <li>Undersurfed</li> <li>Truck Trail</li> <li>Winter</li> <li>Ford Winter Crossing</li> <li>Ferry Route</li> </ul>                                                                                                                            | <ul style="list-style-type: none"> <li>ATS Quarter Section with</li> <li>ATS Section label (medium)</li> <li>ATS Township (large scale)</li> <li>Provincial Boundary</li> <li>Lake Label (20K)</li> <li>River Label (20K)</li> </ul> |
| <b>Paved Road (20K)</b> <ul style="list-style-type: none"> <li>Primary Divided</li> <li>Primary Undivided 4L</li> <li>Primary Undivided 4R</li> <li>Primary Undivided 2L</li> <li>Primary Undivided 2R</li> <li>Primary Undivided 1L</li> <li>Primary Undivided 1R</li> <li>Interchange Ramp</li> <li>Interchange Ramp</li> <li>Interchange Ramp</li> <li>Secondary Divided</li> <li>Secondary Divided</li> <li>Secondary Undivided 4L</li> <li>Secondary Undivided 4R</li> <li>Secondary Undivided 2L</li> <li>Secondary Undivided 2R</li> <li>Secondary Undivided 1L</li> <li>Secondary Undivided 1R</li> </ul> | <b>Gravel Road (20K)</b> <ul style="list-style-type: none"> <li>Primary Undivided 2L</li> <li>Primary Undivided 2R</li> <li>Primary Undivided 1L</li> <li>Primary Undivided 1R</li> <li>Secondary Undivided 2L</li> <li>Secondary Undivided 2R</li> <li>Secondary Undivided 1L</li> <li>Secondary Undivided 1R</li> </ul> | <b>Lake/River (20K)</b> <ul style="list-style-type: none"> <li>Lake or River</li> <li>Lake or River</li> <li>Reservoir</li> <li>Icefield</li> <li>Major Canal</li> <li>Ditch</li> <li>Quarry</li> <li>Dugout</li> </ul>              |
| <ul style="list-style-type: none"> <li>Secondary Undivided 4L</li> <li>Secondary Undivided 4R</li> <li>Secondary Undivided 2L</li> <li>Secondary Undivided 2R</li> <li>Secondary Undivided 1L</li> <li>Secondary Undivided 1R</li> </ul>                                                                                                                                                                                                                                                                                                                                                                          | <b>Railway (20K Large Scale)</b> <ul style="list-style-type: none"> <li>Single Line</li> <li>Double Line</li> <li>Multiple Line</li> <li>Spur Line</li> <li>Abandoned</li> <li>ATS Quarter Section label</li> </ul>                                                                                                       | <ul style="list-style-type: none"> <li>Intermittent Lake</li> <li>Intermittent Lake</li> <li>Intermittent Outflow</li> <li>Sandbar / Wetland /</li> <li>Sandbar</li> <li>Sandbar</li> <li>Sandbar</li> </ul>                         |

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Projection and Datum  
WGS 1984 Web Mercator Auxiliary Sphere

Scale 1:9,404







**COUNTY OF NORTHERN LIGHTS**  
#600, 7th Avenue NW Box 10, Manning, AB T0H 2M0  
Ph (780) 836-3348 Fax (780) 836-3663 Toll Free 1-888-525-3481

## **DEVELOPMENT PERMIT NOTICE OF DECISION**

**APPLICATION NO.:** DP26-20  
**ROLL NO.:** 232881  
**DEVELOPMENT:** Attached Garage 88.3 m<sup>2</sup> (950 ft<sup>2</sup>)  
**USE TYPE:** Permitted Use  
**LAND USE DISTRICT:** Agricultural General (A)  
**LEGAL DESCRIPTION (ATS Location):** SE11-86-22-W5M  
**SHORT LEGAL:**  
**CONSTRUCTION VALUE:** <\$250,000  
**NAME & ADDRESS OF APPLICANT(s):**

### **DECISION OF THE DEVELOPMENT AUTHORITY IN RESPECT TO THE ISSUANCE OF THE DEVELOPMENT PERMIT:**

☐ **APPROVED**  
☒ **APPROVED** with the following conditions  
☐ **REFUSED** for the following reason(s)

**(See below conditions and appeal procedures)**

### **APPROVAL GRANTED SUBJECT TO COMPLYING TO THE FOLLOWING CONDITIONS:**

1. The development shall proceed in accordance with the attached site plan and/or elevations to reflect the proposed location on SE11-86-22-W5M.
2. The applicant/owner shall comply with the uses and regulations of Agricultural General (A) District
3. The applicant/owner may be required to enter into and comply with a development agreement with the County to include, but not limited to, the removal of an approach, construction of a new approach, or the upgrading of an approach. When installing approaches or culverts the applicant/owner shall contact the County of Northern Lights Public Works Department to ensure the approaches are constructed in accordance with County standards. Any costs incurred will be the responsibility of the applicant/owner.
4. Exterior finish to be wood, metal or similar siding, brick or stucco to the satisfaction of the Development Authority. The finish and appearance should complement other structures and natural site features.
5. The applicant/owner shall comply with setbacks as per Alberta Private Sewage System Standards.

6. The owner/developer shall contact an accredited agency contracted by the Alberta Safety Codes Authority to obtain the following permits or approval applicable: Building Permit – Provincial Plumbing Permit – Gas Permit – Electrical Permit. A copy of the approved permits must be submitted to the County of Northern Lights for their files.
7. No further development or construction shall be allowed without an approved Development Permit.

**June 30, 2026**  
**DATE OF DECISION**

June 30, 2026  
**DATE OF ISSUE OF NOTICE OF DECISION**

  
**DEVELOPMENT OFFICER**

*Please Note:*

*This development permit lapses and is considered void if the development approved has not commenced within twelve (12) months from the date of issue of the notice.*

## COUNTY OF NORTHERN LIGHTS

#600, 7th Avenue NW Box 10, Manning, AB T0H 2M0 Ph (780) 836-3348 Fax (780) 836-3663 Toll Free 1-888-525-3481

### IMPORTANT NOTICES

---

1. You may wish to appeal the decision of the subdivision and development authority to the Subdivision and Development Appeal Board. Such an appeal shall be made in writing and shall be delivered either in person or by mail so as to reach the Secretary of the Subdivision and Development Appeal Board at the County office **NOT LATER THAN 21 DAYS AFTER THE DATE OF ISSUE OF NOTICE OF DECISION.**
2. The Land Use Bylaw provides that any person claiming to be affected by a decision of the development authority may appeal to the Secretary of the Subdivision and Development Appeal Board **WITHIN 21 DAYS AFTER THE NOTICE OF DECISION IS PUBLISHED IN THE LOCAL NEWSPAPER.**
3. A decision of the Subdivision and Development Appeal Board is final and binding on all parties and persons subject only to an appeal upon or question of jurisdiction or law pursuant to Section 689 of Municipal Government Act. An application for leave to appeal to the Appellate Division of the Supreme Court of Alberta shall be made:
  - a) to a judge of the Appellate Division; and
  - b) within Thirty (30) days after the issue of the order, decision, permit or approval sought to be appealed.



## DEVELOPMENT PERMIT APPLICATION FORM A

"An Agriculture Based Community"

|                        |           |
|------------------------|-----------|
| FOR ADMINISTRATIVE USE |           |
| APPLICATION NO.        | DP-26-20  |
| DATE RECEIVED          | 6/22/2026 |
| ROLL NO.               | 232881    |

County of Northern Lights, # 600, 7<sup>th</sup> Ave. NW Box 10, Manning, AB, T0H 2M0

W: [www.countyofnorthernlights.com](http://www.countyofnorthernlights.com) | E: [development@countyofnorthernlights.com](mailto:development@countyofnorthernlights.com) | T: (780) 836-3348 | F: (780) 836-3663

I / We hereby make application under the provisions of the Land Use Bylaw for a Development Permit in accordance with the plans and supporting information submitted herewith and form part of this application. I / We understand that this application will not be accepted without the following:

- (a) application fee;
- (b) site plan sketch that includes all relevant detail to the proposed development (e.g.: proposed and existing structures, property lines, creeks/ravines, parking and vehicle access, building plans, etc.)

| APPLICANT INFORMATION | COMPLETE IF DIFFERENT FROM APPLICANT                |             |             |
|-----------------------|-----------------------------------------------------|-------------|-------------|
| NAME OF APPLICANT     | NAME OF REGISTERED OWNER                            |             |             |
|                       | ADDRESS                                             |             |             |
|                       |                                                     |             |             |
|                       | POSTAL CODE                                         |             |             |
|                       | EMAIL ADDRESS*                                      |             |             |
|                       | I/We, you agree to receive correspondence by email. |             |             |
|                       | PHONE (CELL)                                        | PHONE (RES) | PHONE (BUS) |

| LAND INFORMATION                                                                                                    |                                                                         |                                                         |                                   |
|---------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------|---------------------------------------------------------|-----------------------------------|
| Municipal Address (if applicable): 861020 RR221                                                                     |                                                                         |                                                         |                                   |
| Legal description (if applicable): Registered Plan: _____ Block: _____ Lot (parcel): _____                          |                                                                         |                                                         |                                   |
| QTR/LS: SE Section: 11 Township: 86 Range: 22 Meridian: W5                                                          |                                                                         |                                                         |                                   |
| Size of the Parcel to be developed 1 <input checked="" type="checkbox"/> Acres or <input type="checkbox"/> Hectares |                                                                         |                                                         |                                   |
| Description of the existing use of the land: Quarter contains 3 bedroom home on unfinished basement.                |                                                                         |                                                         |                                   |
| Includes utilities; well water brought in from adjacent quarter, power, natural gas, sewer                          |                                                                         |                                                         |                                   |
| Proposed Development: attached garage with electricity but no water, gas, or sewer                                  |                                                                         |                                                         |                                   |
| Circle any proposed uses(s):                                                                                        |                                                                         |                                                         |                                   |
| <input type="checkbox"/> SIGN(S)                                                                                    | <input type="checkbox"/> CULVERT(S)/ ROAD ACCESS POINT(S)               | <input type="checkbox"/> PUBLIC USE(S)/ UTILITIES       |                                   |
| <input type="checkbox"/> DWELLING UNIT(S)                                                                           | <input type="checkbox"/> ACCESSORY STRUCTURE(S)/ USE(S)                 | <input checked="" type="checkbox"/> SHED/GARAGE/BARN(S) |                                   |
| <input type="checkbox"/> HOME BASED BUSINESS                                                                        | <input type="checkbox"/> COMMERCIAL OR INDUSTRIAL STRUCTURE(S)/ USES(S) | <input type="checkbox"/> OTHER (SPECIFY)                |                                   |
| Estimated:                                                                                                          | Date of Commencement: June 2026                                         | Date of Completion: Sept 2026                           | Value of Construction: \$ 115,030 |

RECEIVED

JUN 05 2026

COUNTY OF  
NORTHERN LIGHTS

**PROPOSAL INFORMATION**DEVELOPMENT IS: ☐ NEW ☐ EXISTING ☒ ALTERATION TO EXISTINGLAND IS ADJACENT TO: ☐ PRIMARY HIGHWAY ☒ LOCAL ROAD ☐ INTERNAL SUBDIVISION ROAD ☐ OTHER

LOT AREA: \_\_\_\_\_ LOT WIDTH: \_\_\_\_\_ LOT LENGTH: \_\_\_\_\_ PERCENTAGE OF LOT OCCUPIED: \_\_\_\_\_ %

PRINCIPAL BUILDING SETBACK: (existing) FRONT: 1340' REAR: 1272' SIDES: 211' 1237' HEIGHT 10'6" <sup>grass</sup> <sub>soil</sub>

ACCESSORY BUILDING SETBACK: FRONT: \_\_\_\_\_ REAR: \_\_\_\_\_ SIDES: \_\_\_\_\_ / \_\_\_\_\_ HEIGHT \_\_\_\_\_

**ADDITIONAL INFORMATION INCLUDED**☒ SITE PLAN ☐ FLOOR PLAN ☒ LAND TITLE ☒ ABANDONED OIL WELL DECLARATION SIGNED☐ ALBERTA NEW HOME WARRANTY / OR PROOF OF EXEMPTION ☒ DISTANCE TO ROAD / HIGHWAY 259'**ADDITIONAL INFORMATION AS REQUIRED:**☐ ELEVATIONS ☐ SOIL TESTS ☐ HOURS OF OPERATION \_\_\_\_\_☒ NUMBER OF DWELLING UNITS 1 ☐ NUMBER OF EMPLOYEES \_\_\_\_\_☐ PROPOSED BUSINESS ACTIVITIES \_\_\_\_\_☐ LANDOWNER LETTER OF AUTHORIZATION ☒ ADJACENT LANDOWNER LETTERS OF SUPPORT**MANUFACTURED HOME (MOBILE HOME)**

SERIAL NUMBER: \_\_\_\_\_ YEAR BUILT: \_\_\_\_\_ SIZE: WIDTH \_\_\_\_\_ LENGTH \_\_\_\_\_

**DECLARATION**

I/WE HEREBY AUTHORIZE REPRESENTATIVES OF THE COUNTY TO ENTER MY/OUR LAND FOR THE PURPOSE OF CONDUCTING A SITE INSPECTION IN CONNECTION WITH THIS APPLICATION

I/WE HEREBY DECLARE THAT THE ABOVE INFORMATION IS, TO THE BEST OF MY/OUR KNOWLEDGE, FACTUAL AND CORRECT

June 3/26  
Date**NOTE:**Signature of Registered  
Landowner required if different  
from Applicant

Date

SIGNATURE OF REGISTERED LANDOWNER / LEASEHOLDER

**FOR ADMINISTRATIVE USE**

LAND USE DISTRICT: \_\_\_\_\_

FEE ENCLOSED: YES ☐ NO ☐ AMOUNT: \$ \_\_\_\_\_ RECEIPT NO.: \_\_\_\_\_

DEFINED USE: \_\_\_\_\_

PERMITTED/DISCRETIONARY: \_\_\_\_\_

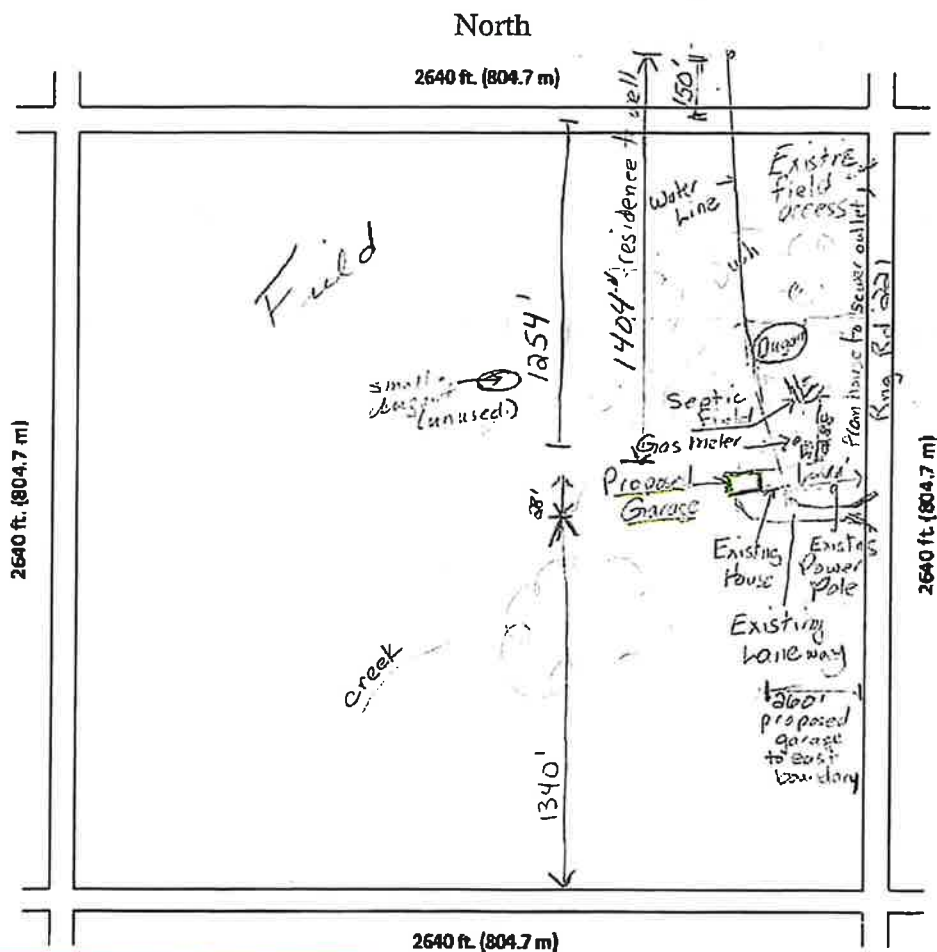
VARIANCE: \_\_\_\_\_



LEGAL SE ¼ SEC 11 TWP 86 RG 22 W 5 M

LEGAL SE ¼ SEC 11 TWP 86 RG 22 W 5 M

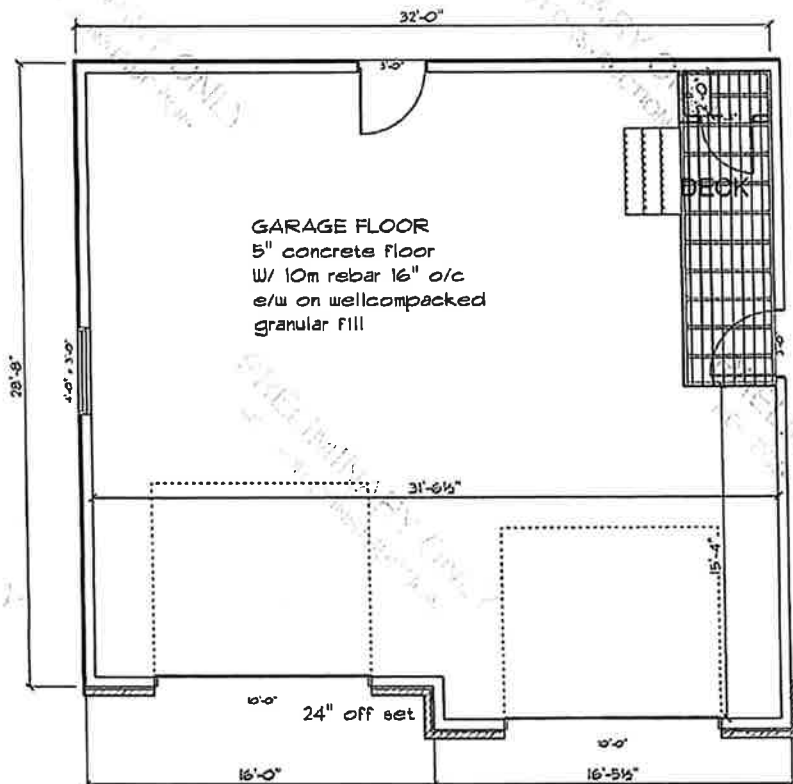
- 28' width of garage &  
house



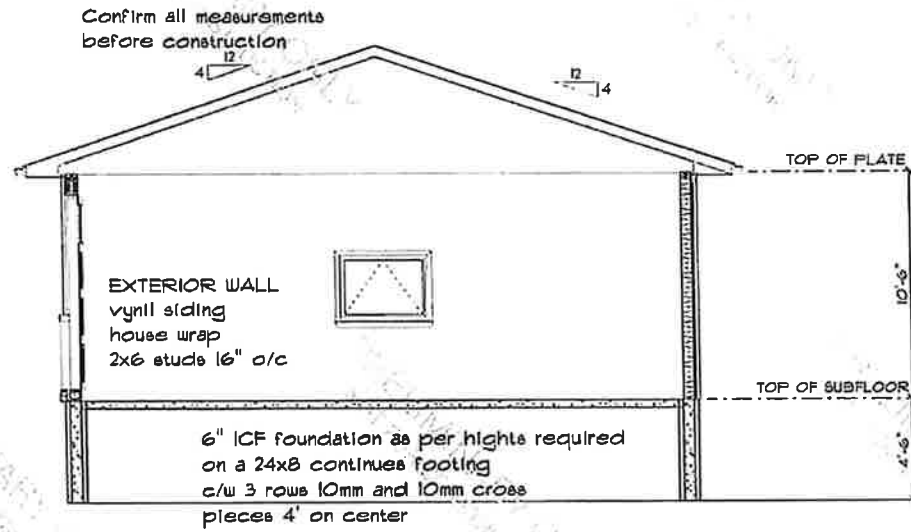
**APPROVED**

DATED: June 30, 2026

PER:



**GARAGE**  
SCALE: 3/16" = 1'-0"



**CROSS SECTION**  
SCALE: 3/16" = 1'-0"

|                                                                                                                                                                                                                       |                                                             |                                                                                                                                                        |                                        |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------|
| <p><b>SOFTPLAN</b><br/>ARCHITECTURAL DESIGN SOFTWARE<br/><b>Skylight Ventures</b></p> <p>Box 7418<br/>Peace River<br/>Alberta<br/>T8S 1T1</p> <p>PHONE: 780-625-9726<br/>FAX:<br/>MOBILE:<br/>skylight2013@lve.ca</p> | <p>SECTION<br/>LETTER<br/>A<br/>PAGE<br/>NUMBERS<br/>11</p> | <p><b>Harold &amp; Barb Kaminski</b></p> <p>PHONE:<br/>FAX:<br/>MOBILE:</p> <p>DRAWN BY:<br/>SCALE: 3/16" = 1'-0"<br/>DATE: Thursday, May 28, 2026</p> | <p>PAGE:<br/><b>3/5</b><br/>Garage</p> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------|

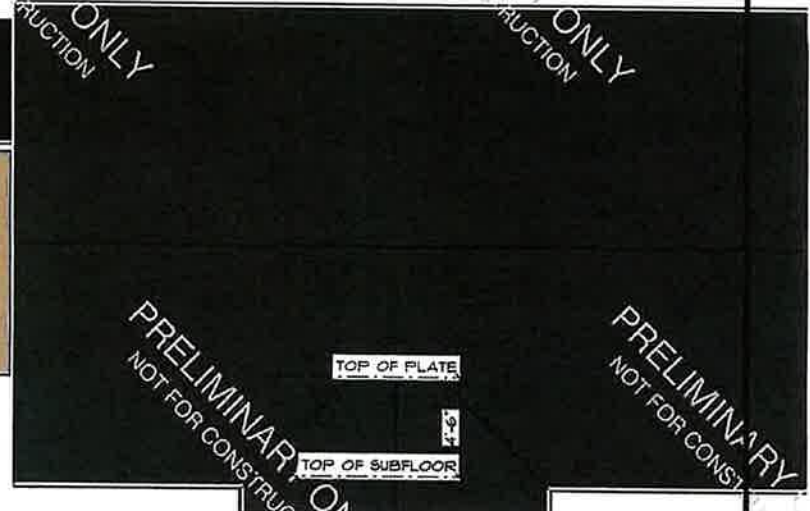


**NORTH ELEVATION**

SCALE: 3/16" = 1'-0"

Confirm all measurements  
before construction

Roof Details  
30 year shingles  
Ice & water min. 2ft pass ext wall  
7/16" OSB w/H clips  
engineered trusses



**TOP ELEVATION**

SCALE: 1/8" = 1'-0"

**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE  
**Skylight Ventures**

Box 7418  
Peace River  
Alberta  
T8S 1T1

PHONE: 780-625-9726  
FAX:  
MOBILE:  
skylight2013@live.ca



SECTION  
LETTER

PAGE  
NUMBERS

Harold & Barb Kaminki

PHONE:  
FAX:  
MOBILE:

DRAWN BY:

SCALE: As Noted

DATE: Thursday, May 28, 2026

PAGE:

**4/5**  
Rear Elevation



**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE

**Skylight Ventures**

Box 7418  
Peace River  
Alberta  
T8S 1T1

PHONE: 780-625-9726  
FAX:  
MOBILE:  
skylight2013@live.ca



SECTION  
LETTER

PAGE  
NUMBERS

**Harold & Barb Kaminki**

PHONE:  
FAX:  
MOBILE:

DRAWN BY:

SCALE: As Noted

DATE: Thursday, May 28, 2026

PAGE:

**1/5**  
Cover





## County of Northern Lights

# 600 7th Avenue NW, Box 10, Manning, AB T0H  
2M0 Phone: (780) 836-3348 Fax (780) 836-3663

### ADDITIONAL DEVELOPMENT INFORMATION

PLEASE INDICATE BELOW THE METHOD OF SEWAGE DISPOSAL AND TYPE OF DOMESTIC WATER SUPPLY TO BE USED IN RELATION TO YOUR DEVELOPMENT APPLICATION. PLEASE INDICATE ON THE SITE PLAN THE PROPOSED LOCATION AND DISTANCES OF YOUR WATER SUPPLY AND SEWAGE DISPOSAL FROM ALL PROPERTY LINES AND RESIDENCE.

#### TYPE OF DOMESTIC WATER SUPPLY (PLEASE CHECK)

- ☐ DUGOUT
- ☐ WELL
- ☐ CISTERN AND HAULING SERVICE
- ☐ COMMUNITY WELL/MUNICIPAL SERVICE
- ☐ OTHER (PLEASE SPECIFY)

*No plumbing to  
proposed garage*

#### TYPE OF DOMESTIC/COMMERCIAL SEWAGE DISPOSAL (PLEASE CHECK)

- ☐ OPEN DISCHARGE/APPROVED SEPTIC TANK
- ☐ SUB-SURFACE DISPOSAL/APPROVED SEPTIC TANK
- ☐ ABOVE GROUND MOUND/APPROVED SEPTIC TANK
- ☐ APPROVED SEWAGE LAGOON
- ☐ OUTDOOR PRIVY
- ☐ MUNICIPAL SERVICE
- ☐ OTHER (PLEASE SPECIFY)

*No sewage from  
proposed garage*

PLEASE INDICATE IF THE ABOVE INFORMATION IS:

- a) EXISTING
- ☒ b) PROPOSED

#### FOR ADDITIONAL INFORMATION CONTACT:

MUNICIPAL AFFAIRS AND HOUSING, Public Safety Department  
PEACE RIVER, AB  
PHONE: 1-866-421-6929





## APPLICANT STATEMENT REGARDING ABANDONED WELLS

In accordance with the Municipal Government Act Subdivision and Development Regulation

\_\_\_\_\_, registered owner (or  
ase Print)

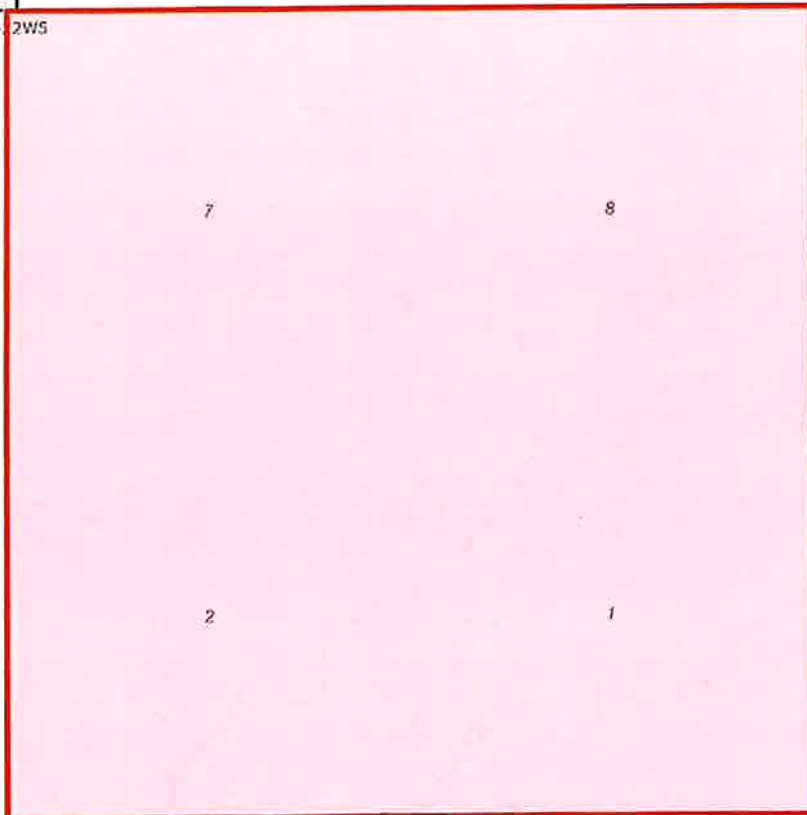
their agent) of \_\_\_\_\_ SE 11 86 22 W5 \_\_\_\_\_, have consulted the Energy  
(Legal Land Description)

Resources Conservation Board (ERCB) Abandoned Well Map Viewer, and verified that **there are no  
abandoned wells** located the property subject to this application. A copy of the ERCB map showing the  
subject property is attached.

6/3/26

Date

11  
086-2WS





**COUNTY OF NORTHERN LIGHTS**  
#600, 7th Avenue NW Box 10, Manning, AB T0H 2M0  
Ph (780) 836-3348 Fax (780) 836-3663 Toll Free 1-888-525-3481

## **DEVELOPMENT PERMIT NOTICE OF DECISION**

|                                            |                                                                                         |
|--------------------------------------------|-----------------------------------------------------------------------------------------|
| <b>APPLICATION NO.:</b>                    | <b>DP-26-21</b>                                                                         |
| <b>ROLL NO.:</b>                           | <b>314522</b>                                                                           |
| <b>DEVELOPMENT:</b>                        | <b>Detached Garage (1092 ft<sup>2</sup>) &amp; Shop Building (2,400 ft<sup>2</sup>)</b> |
| <b>USE TYPE:</b>                           | <b>Permitted Use</b>                                                                    |
| <b>LAND USE DISTRICT:</b>                  | <b>Agriculture General (A) District</b>                                                 |
| <b>LEGAL DESCRIPTION (ATS Location):</b>   | <b>SW-5-85-23-W5M</b>                                                                   |
| <b>SHORT LEGAL:</b>                        | <b>Plan 1723297, Block 1, Lot 1</b>                                                     |
| <b>CONSTRUCTION VALUE:</b>                 | <b>&lt;\$250,000</b>                                                                    |
| <b>NAME &amp; ADDRESS OF APPLICANT(s):</b> | <b>Landowner</b>                                                                        |

### **DECISION OF THE DEVELOPMENT AUTHORITY IN RESPECT TO THE ISSUANCE OF THE DEVELOPMENT PERMIT:**

- ☐ **APPROVED**  
☒ **APPROVED** with the following conditions  
☐ **REFUSED** for the following reason(s)

**(See below conditions and appeal procedures)**

---

### **APPROVAL GRANTED SUBJECT TO COMPLYING TO THE FOLLOWING CONDITIONS:**

1. The development shall proceed in accordance with the attached site plan and/or elevations to reflect the proposed location on Lot 1, Block 1, Plan 1723297.
2. The applicant/owner shall comply with the uses and regulations of the Agriculture General (A) District
3. The applicant/owner may be required to enter into and comply with a development agreement with the County to include, but not limited to, the removal of an approach, construction of a new approach, or the upgrading of an approach. When installing approaches or culverts the applicant/owner shall contact the County of Northern Lights Public Works Department to ensure the approaches are constructed in accordance with County standards. Any costs incurred will be the responsibility of the applicant/owner.
4. The owner/developer shall contact an accredited agency contracted by the Alberta Safety Codes Authority to obtain the following permits or approval applicable: Building Permit – Provincial Plumbing Permit – Gas Permit – Electrical Permit. A copy of the approved permits must be submitted to the County of Northern Lights for their files.

5. The applicant/owner shall obtain other approvals required by other regulatory approvals throughout the course of the development and its operation.
6. The exterior finish to be wood, metal or similar siding, brick or stucco to the satisfaction of the Development Authority. The finish and appearance should complement other structures and natural site features.
7. No further development or construction shall be allowed without an approved Development Permit.

July 8, 2026  
DATE OF DECISION

July 8, 2026  
DATE OF ISSUE OF NOTICE OF DECISION

  
DEVELOPMENT OFFICER

*Please Note:*

*This development permit lapses and is considered void if the development approved has not commenced within twelve (12) months from the date of issue of the notice.*

**COUNTY OF NORTHERN LIGHTS**

#600, 7th Avenue NW Box 10, Manning, AB T0H 2M0 Ph (780) 836-3348 Fax (780) 836-3663 Toll Free 1-888-525-3481

**IMPORTANT NOTICES**

1. You may wish to appeal the decision of the subdivision and development authority to the Subdivision and Development Appeal Board. Such an appeal shall be made in writing and shall be delivered either in person or by mail so as to reach the Secretary of the Subdivision and Development Appeal Board at the County office **NOT LATER THAN 21 DAYS AFTER THE DATE OF ISSUE OF NOTICE OF DECISION.**
2. The Land Use Bylaw provides that any person claiming to be affected by a decision of the development authority may appeal to the Secretary of the Subdivision and Development Appeal Board **WITHIN 21 DAYS AFTER THE NOTICE OF DECISION IS PUBLISHED IN THE LOCAL NEWSPAPER.**
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  - a) to a judge of the Appellate Division; and
  - b) within Thirty (30) days after the issue of the order, decision, permit or approval sought to be appealed.



## DEVELOPMENT PERMIT APPLICATION FORM A

"An Agriculture Based Community"

| FOR ADMINISTRATIVE USE |               |
|------------------------|---------------|
| APPLICATION NO.        | DP26-21       |
| DATE RECEIVED          | June 22, 2026 |
| ROLL NO.               | 314522        |

County of Northern Lights, # 600, 7<sup>th</sup> Ave. NW Box 10, Manning, AB, T0H 2M0  
W: [www.countyofnorthernlights.com](http://www.countyofnorthernlights.com) | E: [development@countyofnorthernlights.com](mailto:development@countyofnorthernlights.com) | T: (780) 836-3348 | F: (780) 836-3663

I / We hereby make application under the provisions of the Land Use Bylaw for a Development Permit in accordance with the plans and supporting information submitted herewith and form part of this application. I / We understand that this application will not be accepted without the following:

- (a) application fee;
- (b) site plan sketch that includes all relevant detail to the proposed development (e.g.: proposed and existing structures, property lines, creeks/ravines, parking and vehicle access, building plans, etc.)

| APPLICANT INFORMATION                                                                         |             |             | COMPLETE IF DIFFERENT FROM APPLICANT |             |             |
|-----------------------------------------------------------------------------------------------|-------------|-------------|--------------------------------------|-------------|-------------|
| NAME OF APPLICANT                                                                             |             |             | NAME OF REGISTERED OWNER             |             |             |
| ADDRESS                                                                                       |             |             | ADDRESS                              |             |             |
|                                                                                               |             |             |                                      |             |             |
| POSTAL CODE                                                                                   |             |             | POSTAL CODE                          |             |             |
| EMAIL ADDRESS*                                                                                |             |             | EMAIL ADDRESS*                       |             |             |
| *By supplying the County with an email address, you agree to receive correspondence by email. |             |             |                                      |             |             |
| PHONE (CELL)                                                                                  | PHONE (RES) | PHONE (BUS) | PHONE (CELL)                         | PHONE (RES) | PHONE (BUS) |

| LAND INFORMATION                                                                                                                                                                                |                                                                                                   |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|
| Municipal Address (if applicable): <u>850017 RR 235</u>                                                                                                                                         |                                                                                                   |
| Legal description (if applicable): Registered Plan: <u>1123297</u> Block: <u>1</u> Lot (parcel): <u>1</u>                                                                                       |                                                                                                   |
| QTR/LS: <u>SW</u> Section: <u>5</u> Township: <u>85</u> Range: <u>23</u> Meridian: <u>S</u>                                                                                                     |                                                                                                   |
| Size of the Parcel to be developed _____ <input type="checkbox"/> Acres or <input type="checkbox"/> Hectares                                                                                    |                                                                                                   |
| Description of the existing use of the land: <u>Home and Hobby Farm</u>                                                                                                                         |                                                                                                   |
| Proposed Development: <u>build a 26 x 42 garage</u><br><u>&amp; shop for ag purposes</u>                                                                                                        |                                                                                                   |
| Circle any proposed uses(s):<br><input type="checkbox"/> SIGN(S)<br><input type="checkbox"/> DWELLING UNIT(S)<br><input type="checkbox"/> HOME BASED BUSINESS                                   |                                                                                                   |
| <input type="checkbox"/> CULVERT(S)/ ROAD ACCESS POINT(S)<br><input type="checkbox"/> ACCESSORY STRUCTURE(S)/ USE(S)<br><input type="checkbox"/> COMMERCIAL OR INDUSTRIAL STRUCTURE(S)/ USES(S) |                                                                                                   |
| <input type="checkbox"/> PUBLIC USE(S)/ UTILITIES<br><input checked="" type="checkbox"/> SHED/GARAGE/BARN(S)<br><input type="checkbox"/> OTHER (SPECIFY)                                        |                                                                                                   |
| Estimated:                                                                                                                                                                                      | Date of Commencement: <u>July 1, 26</u> Date of Completion: _____ Value of Construction: \$ _____ |

**PROPOSAL INFORMATION**

|                                                                                                                                                                                                |  |  |                  |  |                                   |                   |  |  |                                    |                                                 |  |              |  |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|------------------|--|-----------------------------------|-------------------|--|--|------------------------------------|-------------------------------------------------|--|--------------|--|--|
| DEVELOPMENT IS: <input checked="" type="checkbox"/> NEW                                                                                                                                        |  |  |                  |  | <input type="checkbox"/> EXISTING |                   |  |  |                                    | <input type="checkbox"/> ALTERATION TO EXISTING |  |              |  |  |
| LAND IS ADJACENT TO: <input type="checkbox"/> PRIMARY HIGHWAY <input checked="" type="checkbox"/> LOCAL ROAD <input type="checkbox"/> INTERNAL SUBDIVISION ROAD <input type="checkbox"/> OTHER |  |  |                  |  |                                   |                   |  |  |                                    |                                                 |  |              |  |  |
| LOT AREA: _____                                                                                                                                                                                |  |  | LOT WIDTH: _____ |  |                                   | LOT LENGTH: _____ |  |  | PERCENTAGE OF LOT OCCUPIED: _____% |                                                 |  |              |  |  |
| PRINCIPAL BUILDING SETBACK:                                                                                                                                                                    |  |  | FRONT: _____     |  |                                   | REAR: _____       |  |  | SIDES: _____/_____                 |                                                 |  | HEIGHT _____ |  |  |
| ACCESSORY BUILDING SETBACK:                                                                                                                                                                    |  |  | FRONT: _____     |  |                                   | REAR: _____       |  |  | SIDES: _____/_____                 |                                                 |  | HEIGHT _____ |  |  |

**ADDITIONAL INFORMATION INCLUDED**

☐ SITE PLAN ☐ FLOOR PLAN ☐ LAND TITLE ☐ ABANDONED OIL WELL DECLARATION SIGNED  
☐ ALBERTA NEW HOME WARRANTY / OR PROOF OF EXEMPTION ☐ DISTANCE TO ROAD / HIGHWAY \_\_\_\_\_

**ADDITIONAL INFORMATION AS REQUIRED:**

☐ ELEVATIONS ☐ SOIL TESTS ☐ HOURS OF OPERATION \_\_\_\_\_  
☐ NUMBER OF DWELLING UNITS \_\_\_\_\_ ☐ NUMBER OF EMPLOYEES \_\_\_\_\_  
☐ PROPOSED BUSINESS ACTIVITIES \_\_\_\_\_  
\_\_\_\_\_  
☐ LANDOWNER LETTER OF AUTHORIZATION ☐ ADJACENT LANDOWNER LETTERS OF SUPPORT

**MANUFACTURED HOME (MOBILE HOME)**

SERIAL NUMBER: \_\_\_\_\_ YEAR BUILT: \_\_\_\_\_ SIZE: WIDTH \_\_\_\_\_ LENGTH \_\_\_\_\_

**DECLARATION**

I/WE HEREBY AUTHORIZE REPRESENTATIVES OF THE COUNTY TO ENTER MY/OUR LAND FOR THE PURPOSE OF CONDUCTING A SITE INSPECTION IN CONNECTION WITH THIS APPLICATION

I/WE HEREBY DECLARE THAT THE ABOVE INFORMATION IS, TO THE BEST OF MY/OUR KNOWLEDGE, FACTUAL AND CORRECT

**NOTE:**

Signature of Registered  
Landowner required if different  
from Applicant

June 22, 2016  
Date

\_\_\_\_\_  
SIGNATURE OF APPLICANT

June 22, 2016  
Date

\_\_\_\_\_  
SIGNATURE OF REGISTERED LANDOWNER / LEASEHOLDER

**FOR ADMINISTRATIVE USE**

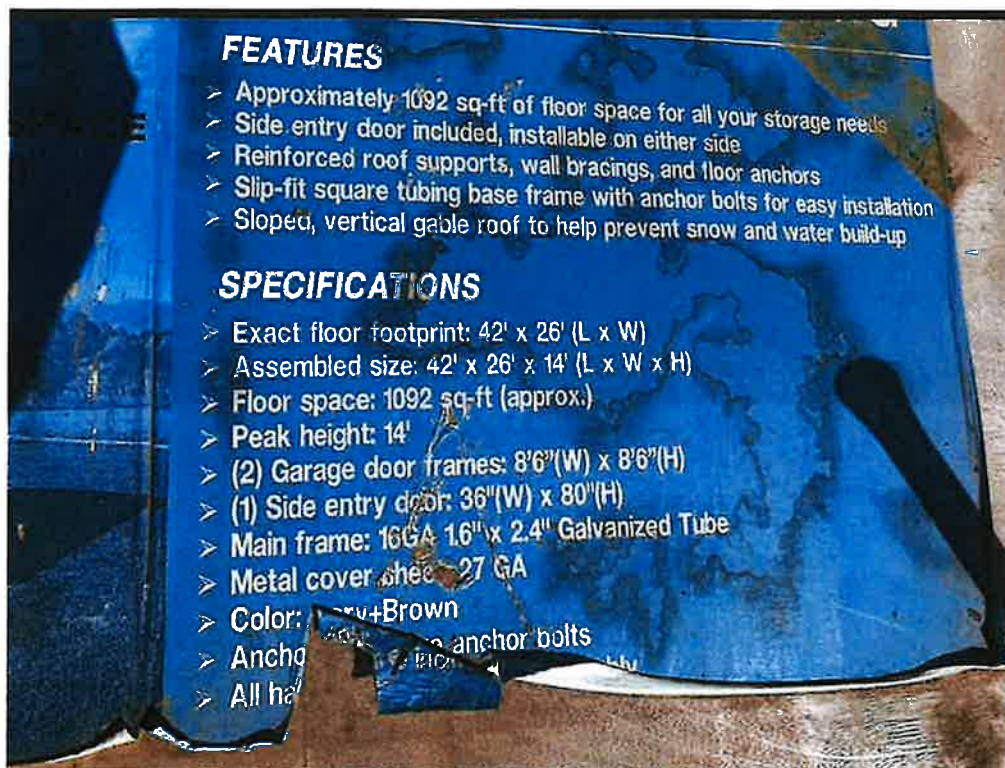
LAND USE DISTRICT: agricultural general  
FEE ENCLOSED: YES ☒ NO ☐ AMOUNT: \$ 50 RECEIPT NO.: 235001  
DEFINED USE: Garage + Farm Shop  
PERMITTED/DISCRETIONARY: \_\_\_\_\_  
VARIANCE: \_\_\_\_\_

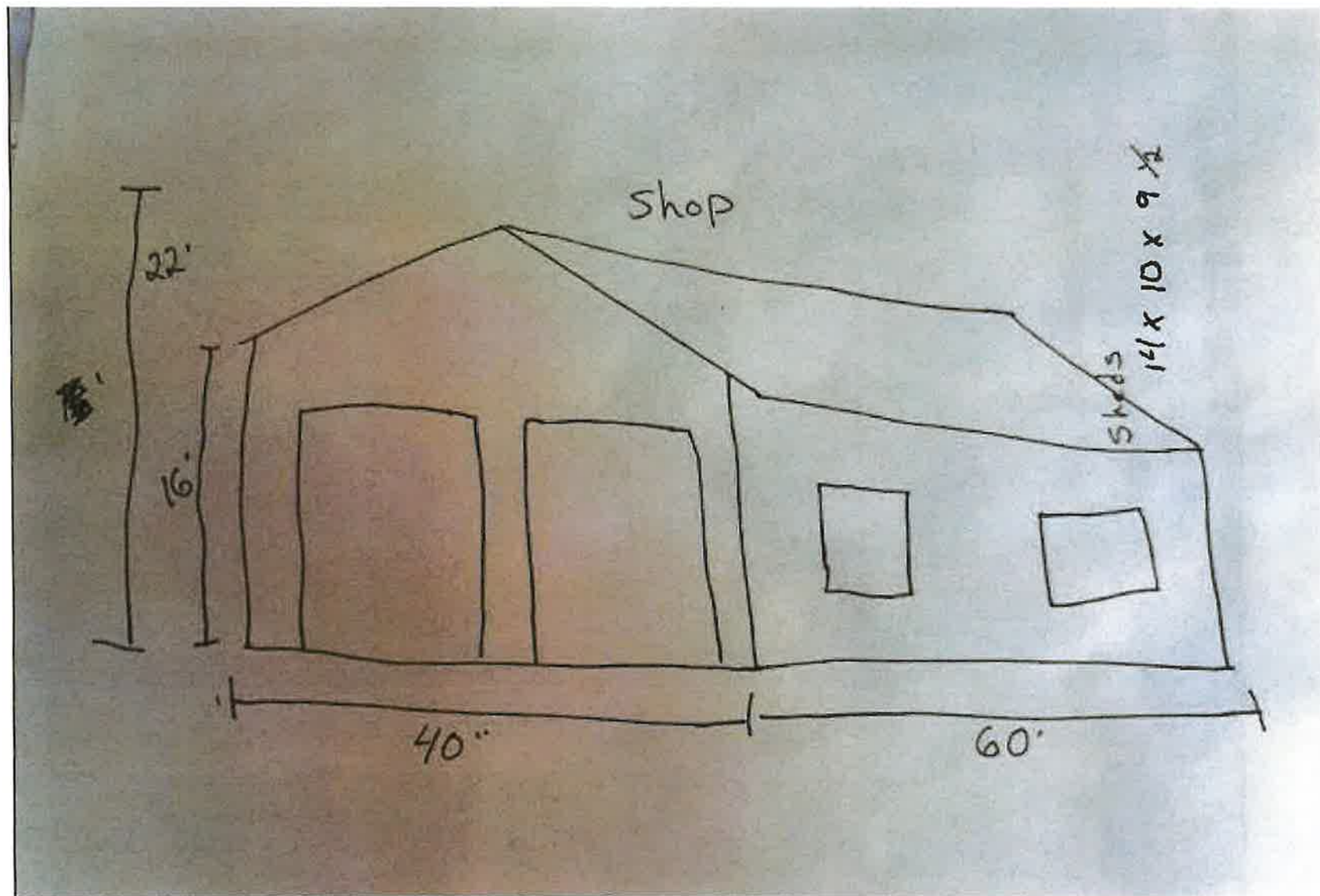






## Garage Specifications









# APPLICANT STATEMENT REGARDING ABANDONED WELLS

In accordance with the Municipal Government Act Subdivision and Development Regulation

\_\_\_\_\_, registered owner (or  
(Please Print)

their agent, of SW - S - R5 - 22 - L35M have consulted the Energy  
(Legal Land Description)

Resources Conservation Board (ERCB) Abandoned Well Map Viewer, and verified that there are no  
abandoned wells located the property subject to this application. A copy of the ERCB map showing the  
subject property is attached.

\_\_\_\_\_  
Signature of registrant

\_\_\_\_\_  
Date





To: **Reeve and Council – County of Northern Lights**  
Attention: **Mr. Gerhard Stickling, Chief Administrative Officer**  
Cc: **David Schoor**  
Applicant: **Landowner(s)**  
From: **Gail Long**

Date: **July 14, 2026**  
Project No.: **17128 DP26-15**

## Application

The applicant proposes a 45-meter communication tower on the SE27-91-21-W5M. The quarter section is designated Agriculture General (A) District. The proposed tower is defined as "Public Utility" and listed as a discretionary use within this District. The applicant has indicated that the tower, made of steel, requires a pile footing with safety light and lightening protection, and will be located within a fenced 3m x 3m compound.

The tower is the thirteenth application that has been submitted by the applicant. The applicant's primary goal of installing the proposed towers is to improve internet connectivity for rural homes in the County, and advised that the towers would, "bring significant benefits to the region, including improved access to educational resources, telehealth services, and economic benefits. It is intended that connectivity will be improved while minimizing any negative impacts on the local environment and the community."

The applicant has advised that the towers are not 5G (cellular towers) but use a technology that operates on different frequencies than cellular networks. The system is designed specifically for fixed wireless broadband access in rural areas and will operate at 3.0 GHz and 6.0 GHz frequencies, which are within the guidelines established by Health Canada's Safety Code 6. The applicant advises "...these frequencies are like those used in common household Wi-Fi routers and are considered safe for human exposure", and all equipment used is approved by Industry Canada for use in Canada and complies with all regulations."

## Site and Surrounding Lands

The quarter section is located northeast of the intersection of Township Road 913 and Range Road 212A, 900 m west of Peace River, and 20 km east of Manning town limits. The quarter section is in agricultural production and is heavily treed along the east property boundary. Wetlands exist near the south boundary and in the northwest corner of the quarter section. The proposed tower is near the southeast property boundary.

The quarter section is not located within the Grimshaw Gravels Aquifer or an environmentally sensitive area, but is located within the Key Wildlife Biodiversity Zone and an environmentally sensitive area for Grizzly. A wetland review shows there is marsh and open water. The east half of the quarter section is located within a historical value (HRV) classified land designation. An ATCO powerline is located on the east side of Range Road 212A and the north side of Township Road 914. There are no low or high-pressure gas lines, County water lines, wellsites, or records of any spills or contamination within this quarter section.

The proposed development meets all regulations of the A District.





Access to the tower site is located off Township Road 913 located midway through the quarter section. Township Road 913 is designated residential.

### Circulation Comments

The applicant, in accordance with Industry Canada requirements, advertised the location and a description of the proposed development in the Mile Zero-Banner Post on April 29, 2026. As per Section 4.2 of the Innovation, Science, and Economic Development Canada, a letter describing the proposed project was also sent to adjacent landowners. No comments and/or concerns were received from either members of the public, or adjacent landowners.

The application was also sent to referral agencies. North Peace Gas Co-Op responded stating they see no conflict with the proposed work as they have no assets on the quarter section. Alberta Energy Regulator, Forestry & Parks, Telus, and the County all responded and indicated they had no concerns with the proposed development. No additional responses were received.

### Recommendation

It is recommended that the application for the location of a 45-meter communication tower on the SE27-91-21-W5M be **APPROVED** subject to the following conditions:

1. That the development proceeds in accordance with the attached plans and site plan to reflect the proposed location on SE27-91-21-W5M.
2. The owner/developer shall comply with the uses and regulations of Agriculture General (A) District.
3. The applicant/owner enter into and comply with a development agreement with the County, if necessary.
4. This permit approval is issued on the condition that all other approvals, including any Industry Canada approvals or Water Act Approvals and/or Licenses, required by other regulatory jurisdictions be obtained and maintained throughout the course of this development and its operation. A copy of the approved permits must be submitted to the County of Northern Lights.
5. The applicant/owner shall contact an accredited agency contracted by Municipal Affairs to obtain the following applicable permits and inspections, as required: Building Permit, Electrical Permit
6. Additional development or construction is not allowed without an approved development permit from the County of Northern Lights.
7. The decision being posted on the County website and advertised in a local newspaper and no appeal against said decision being successful.



### Advisement

1. The lease agreement between the applicant and landowner for the communication tower should include consent to the development and provide for an easement to access the tower site.
2. Should the applicant find any historical artifacts on site, they should be reported to Alberta Heritage.



## DEVELOPMENT PERMIT APPLICATION FORM A

"An Agriculture Based Community"

|                        |              |
|------------------------|--------------|
| FOR ADMINISTRATIVE USE |              |
| APPLICATION NO.        | DP26-15      |
| DATE RECEIVED          | May 19, 2026 |
| ROLL NO.               | 70699        |

County of Northern Lights, # 600, 7<sup>th</sup> Ave. NW Box 10, Manning, AB, T0H 2M0

W: [www.countyofnorthernlights.com](http://www.countyofnorthernlights.com) | E: [development@countyofnorthernlights.com](mailto:development@countyofnorthernlights.com) | T: (780) 836-3348 | F: (780) 836-3663

I / We hereby make application under the provisions of the Land Use Bylaw for a Development Permit in accordance with the plans and supporting information submitted herewith and form part of this application. I / We understand that this application will not be accepted without the following:

- (a) application fee;
- (b) site plan sketch that includes all relevant detail to the proposed development (e.g.: proposed and existing structures, property lines, creeks/ravines, parking and vehicle access, building plans, etc.)

| APPLICANT INFORMATION                                                                         |             |                           | COMPLETE IF DIFFERENT FROM APPLICANT |             |             |
|-----------------------------------------------------------------------------------------------|-------------|---------------------------|--------------------------------------|-------------|-------------|
| NAME OF APPLICANT<br>Arrow Technology Group                                                   |             |                           | NAME OF REGISTERED OWNER             |             |             |
| ADDRESS<br>18236 - 102 Avenue                                                                 |             |                           | ADDRESS                              |             |             |
| Edmonton, Alberta                                                                             |             |                           |                                      |             |             |
| POSTAL CODE<br>T5S 1S7                                                                        |             |                           | POSTAL CODE                          |             |             |
| EMAIL ADDRESS*<br>bruce@atg.net                                                               |             |                           | EMAIL ADDRESS*                       |             |             |
| *By supplying the County with an email address, you agree to receive correspondence by email. |             |                           |                                      |             |             |
| PHONE (CELL)<br>7802398318                                                                    | PHONE (RES) | PHONE (BUS)<br>7807014050 | PHONE (CELL)                         | PHONE (RES) | PHONE (BUS) |

| LAND INFORMATION                                                                                                                                                           |                                                                         |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------|
| Municipal Address (if applicable): SE-27-91-21-W5                                                                                                                          |                                                                         |
| Legal description (if applicable): Registered Plan: _____ Block: _____ Lot (parcel): _____                                                                                 |                                                                         |
| QTR/LS: SE Section: 27 Township: 91 Range: 21 Meridian: W5                                                                                                                 |                                                                         |
| Size of the Parcel to be developed 12 x 12 foot area <input type="checkbox"/> Acres or <input type="checkbox"/> Hectares                                                   |                                                                         |
| Description of the existing use of the land: farm                                                                                                                          |                                                                         |
| sssd                                                                                                                                                                       |                                                                         |
| Proposed Development: We plan to install a 45m tall self support CSA communications tower on piles. This tower will be used to provide wireless internet to the local area |                                                                         |
| Circle any proposed uses(s):                                                                                                                                               |                                                                         |
| <input type="checkbox"/> SIGN(S)                                                                                                                                           | <input type="checkbox"/> CULVERT(S)/ ROAD ACCESS POINT(S)               |
| <input type="checkbox"/> DWELLING UNIT(S)                                                                                                                                  | <input type="checkbox"/> ACCESSORY STRUCTURE(S)/ USE(S)                 |
| <input type="checkbox"/> HOME BASED BUSINESS                                                                                                                               | <input type="checkbox"/> COMMERCIAL OR INDUSTRIAL STRUCTURE(S)/ USES(S) |
| <input checked="" type="checkbox"/> PUBLIC USE(S)/ UTILITIES                                                                                                               |                                                                         |
| <input type="checkbox"/> SHED/GARAGE/BARN(S)                                                                                                                               |                                                                         |
| <input type="checkbox"/> OTHER (SPECIFY)                                                                                                                                   |                                                                         |
| Estimated:                                                                                                                                                                 | Date of Commencement: 4/10/26                                           |
| Date of Completion: 6/15/26                                                                                                                                                | Value of Construction: \$ 60,000                                        |

M10

# PROPOSAL INFORMATION

DEVELOPMENT IS: ☒ NEW ☐ EXISTING ☐ ALTERATION TO EXISTING

LAND IS ADJACENT TO: ☐ PRIMARY HIGHWAY ☒ LOCAL ROAD ☐ INTERNAL SUBDIVISION ROAD ☐ OTHER

LOT AREA: \_\_\_\_\_ LOT WIDTH: \_\_\_\_\_ LOT LENGTH: \_\_\_\_\_ PERCENTAGE OF LOT OCCUPIED: \_\_\_\_\_%

PRINCIPAL BUILDING SETBACK: FRONT: \_\_\_\_\_ REAR: \_\_\_\_\_ SIDES: \_\_\_\_\_/\_\_\_\_\_/\_\_\_\_\_ HEIGHT \_\_\_\_\_

ACCESSORY BUILDING SETBACK: FRONT: \_\_\_\_\_ REAR: \_\_\_\_\_ SIDES: \_\_\_\_\_/\_\_\_\_\_/\_\_\_\_\_ HEIGHT \_\_\_\_\_

# ADDITIONAL INFORMATION INCLUDED

☐ SITE PLAN ☐ FLOOR PLAN ☐ LAND TITLE ☐ ABANDONED OIL WELL DECLARATION SIGNED

☐ ALBERTA NEW HOME WARRANTY / OR PROOF OF EXEMPTION ☐ DISTANCE TO ROAD / HIGHWAY \_\_\_\_\_

# ADDITIONAL INFORMATION AS REQUIRED:

☐ ELEVATIONS ☐ SOIL TESTS ☐ HOURS OF OPERATION \_\_\_\_\_

☐ NUMBER OF DWELLING UNITS \_\_\_\_\_ ☐ NUMBER OF EMPLOYEES \_\_\_\_\_

☐ PROPOSED BUSINESS ACTIVITIES \_\_\_\_\_

☐ LANDOWNER LETTER OF AUTHORIZATION ☐ ADJACENT LANDOWNER LETTERS OF SUPPORT

# MANUFACTURED HOME (MOBILE HOME)

SERIAL NUMBER: \_\_\_\_\_ YEAR BUILT: \_\_\_\_\_ SIZE: WIDTH \_\_\_\_\_ LENGTH \_\_\_\_\_

# DECLARATION

I/WE HEREBY AUTHORIZE REPRESENTATIVES OF THE COUNTY TO ENTER MY/OUR LAND FOR THE PURPOSE OF CONDUCTING A SITE INSPECTION IN CONNECTION WITH THIS APPLICATION

I/WE HEREBY DECLARE THAT THE ABOVE INFORMATION IS, TO THE BEST OF MY/OUR KNOWLEDGE, FACTUAL AND CORRECT

NOTE: Signature of Registered Landowner required if different from Applicant

4/10/2026  
Date  
4/10/2026  
Date

SIGNATURE OF APPLICANT  
SIGNATURE OF REGISTERED LANDOWNER / LEASEHOLDER

# FOR ADMINISTRATIVE USE

LAND USE DISTRICT: agriculture general

FEE ENCLOSED: YES ☒ NO ☐ AMOUNT: \$ 50 RECEIPT NO.: 231836

DEFINED USE: internet tower

PERMITTED/DISCRETIONARY: Discretionary

VARIANCE: \_\_\_\_\_



## **PROPOSED DEVELOPMENT SKETCH**

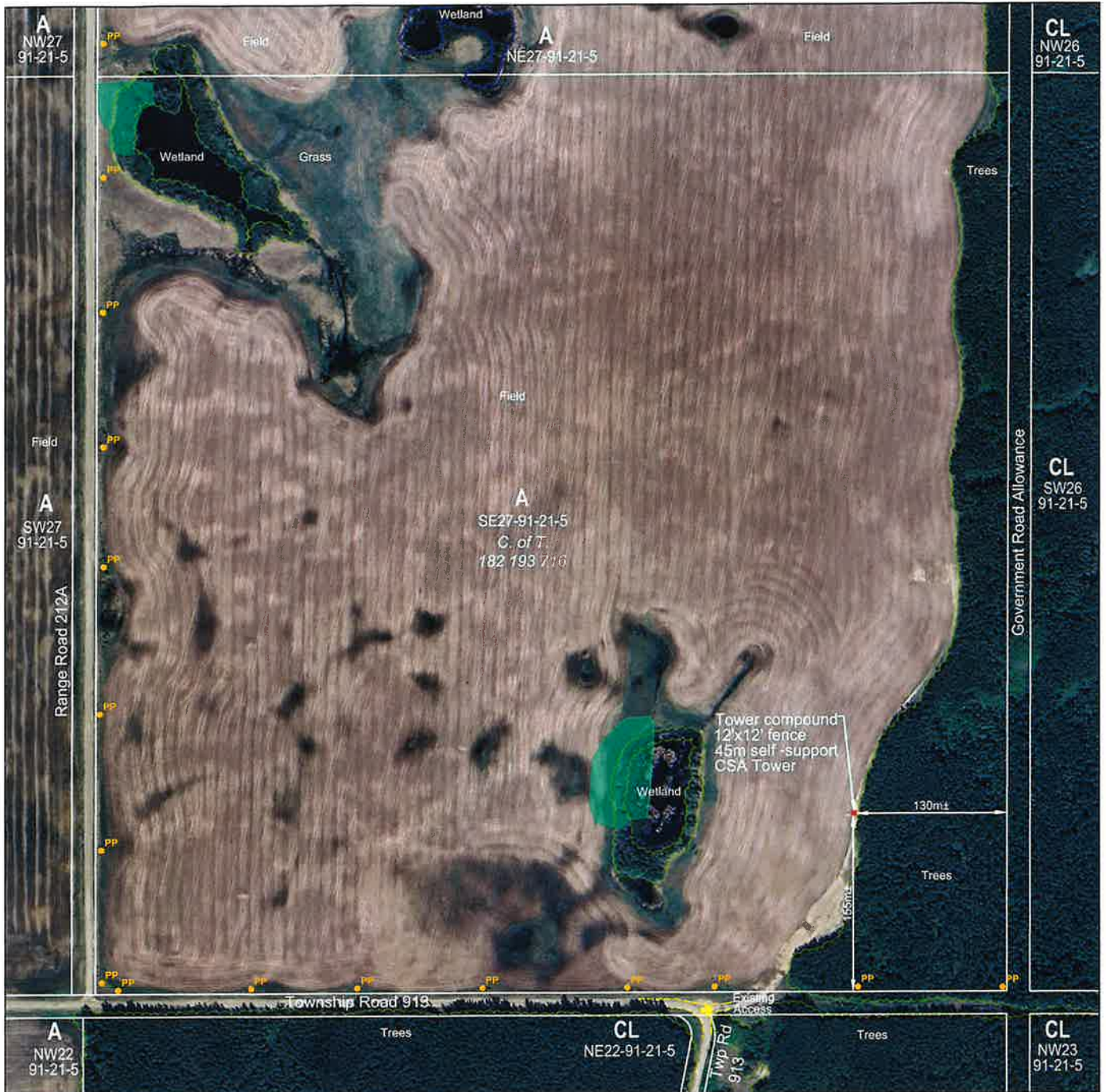
LEGAL SE ¼ SEC 27 TWP 91 RG 21 WW5 M

- Parcel Boundaries/dimensions (feet, meters, etc.).
- Locate developed road allowance(s) and access points(s).
- Distance from all proposed boundary lines to all non-movable buildings (if applicable).
- Distance from residence to drinking water supply, sewage system outlet and all boundary lines (if applicable).
- Distance from sewage outlet to water supply and all boundary lines (if applicable).
- Distance from water supply to all proposed boundary lines (if applicable).
- Locate additional residence(s) on the ¼ section (if applicable).
- Locate shelterbelts, creeks, rivers, drainage ditches, railways, etc.

North







# DEVELOPMENT PERMIT APPLICATION

COUNTY OF NORTHERN LIGHTS  
LEGAL: SE27, Twp 91 Rge 21, W5M

FILE No. DP-26-15



June 3, 2026

## LEGEND

- Proposed Location of Tower
- Buildings/Structures
- Existing Access
- ATCO Powerlines
- Edge of Treeline
- AMWI\* Marsh

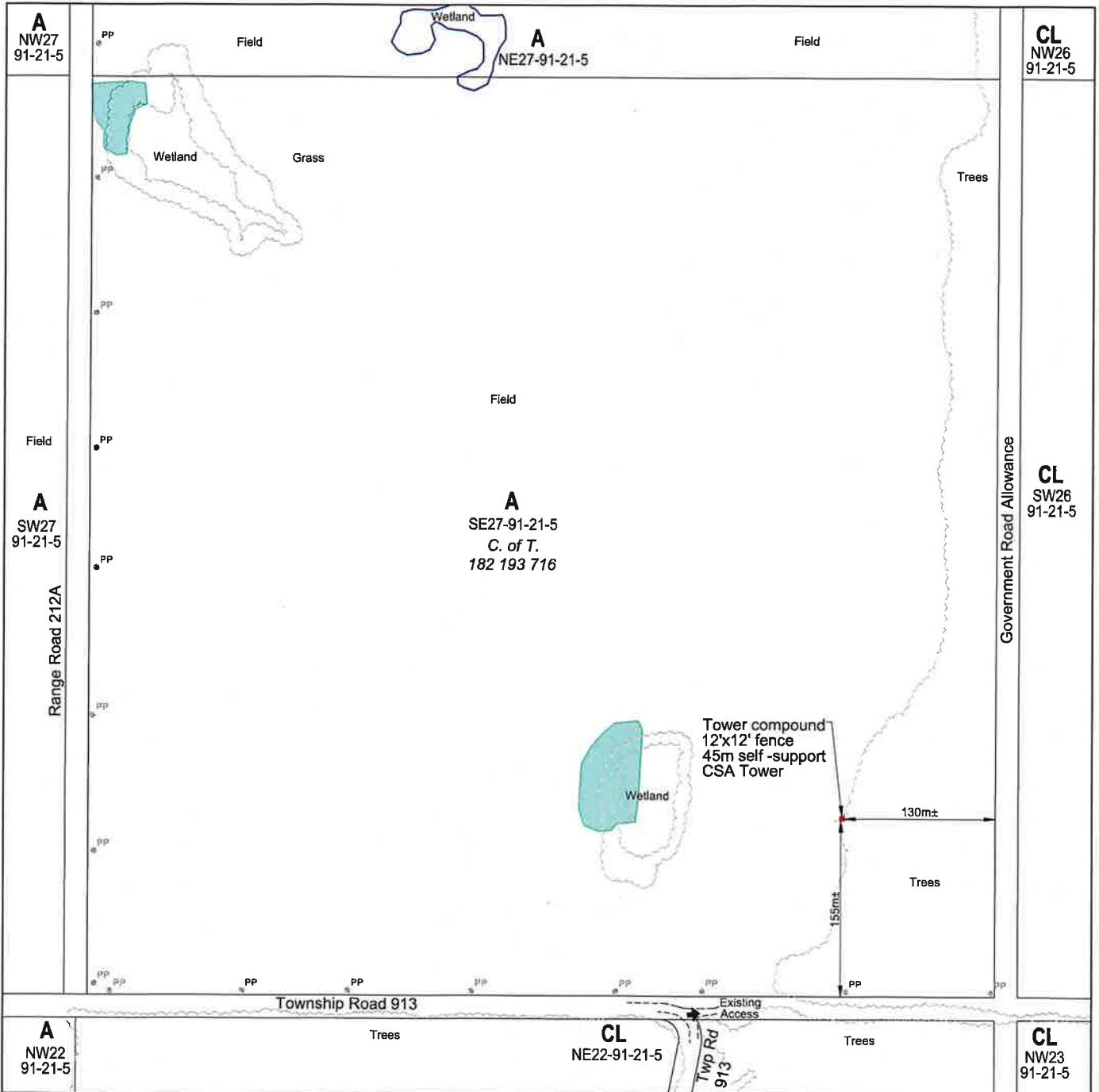
\* Alberta Merged Wetland Inventory



SCALE 1 : 5,000

0 50 100 150 200(m)

NOTE: Improvements located as per data supplied by owner and Abadata measurements.



# DEVELOPMENT PERMIT APPLICATION

COUNTY OF NORTHERN LIGHTS

LEGAL: SE27, Twp 91 Rge 21, W5M

FILE No. DP-26-15



June 3, 2026



## **DEVELOPMENT SKETCH**

1. Tylon T100 Allweld 45m tower CSA
2. 12x12 foot fence compound around tower
3. Pile Foundation
4. Grounding includes lightening rod, ground rod
5. LED tower top light





## **Northern Lights Last Mile**

### **Phase One**

#### **Purpose**

The project aims to improve internet last mile service to rural homes by installing a fixed wireless Internet tower in the region north of Manning.

**Site Plan:** Tower Compound = Red Square







### **Compound & Tower Details**

- **Type:** 84LDSS Tower 150' AWSS - Sections 1-15
- **Height:** 45 meters
- **Foundation:** Screw piles with welded collar
- **Compound Size:** 12 x 12 feet
- **Fencing:** Phoenix Fence stainless 12' x 6' Fence Panel & 12' x 6' Fence Panel with 4' Man Gate
- **Enclosure:** White 24x30x60 Metal Enclosure with AC plugs, meter, and breaker
- **Lightning Protection:** 3/4" Galvanized rod with mounting hardware
- **Lighting:** Tower LED FAA-OL1 6LED Double 12-24VDC with mounting hardware
- **Anti-Climb:** 55"-58" x 114" Flat Shielding - 18 AWG
- **Safety:** Tower safety climb system

### **Documentation**

Generic prints for the tower and piling are attached from the suppliers.

### **Community Engagement**

**Consultation with Landowners:** Tom Waldon visited nearby homes to provide a public notice and contact information for any concerns.

**Public Advertisement:** Ran for one week in the local weekly paper.

### **Regulatory Compliance**

The project adheres to federal regulations and technical and safety requirements



**Bruce Burman**  
**Arrow Technology Group**  
780-701-4050 (w) | 780-239-8318 (m) | [www.atg.net](http://www.atg.net)

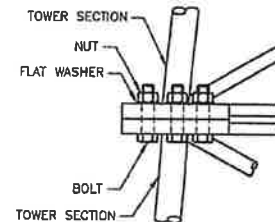
5/22/2024 3:58:19 PM



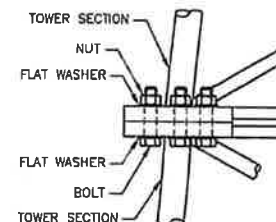
| STRUCTURAL STEEL |                           |
|------------------|---------------------------|
| LEGS:            | 350W, FOR 25# S.R. = 300W |
| DIAGONALS:       | 300W                      |
| HORIZONTALS:     | 300W                      |
| BOLTS:           | A5M A325 U.N.O.           |

| SPlice Bolt Index (Per Leg) |                                                                   |
|-----------------------------|-------------------------------------------------------------------|
| S2                          | (4) 1" x 5" A325 Bolt Assembly                                    |
| S3                          | 3/4" x 3-3/4" A325 Bolt Assembly /w (4) Extra 3/4" F-436 F.W.     |
| S4                          | (4) 3/4" x 3-1/4" A325 Bolt Assembly /w (4) Extra 3/4" F-436 F.W. |
| S5                          | (4) 5/8" x 3-1/4" A325 Bolt Assembly /w (4) Extra 5/8" F-436 F.W. |
| S6                          | (2) 5/8" x 2-1/2" A325 Bolt Assembly /w (2) Extra 5/8" F-436 F.W. |

SPLICE BOLTS QTY SHOWN FOR (1) TOWER ONLY

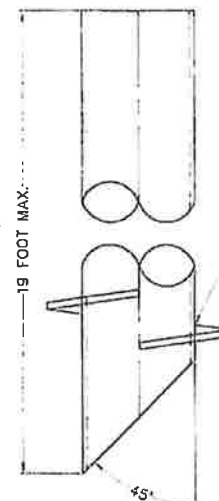
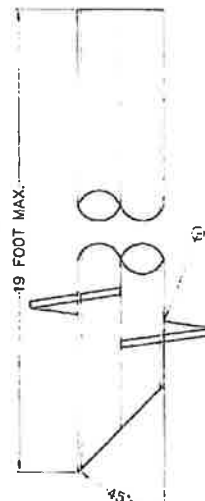
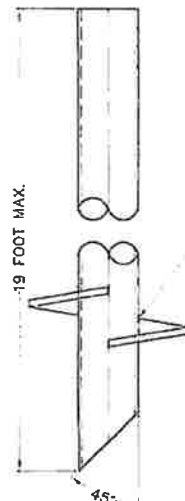
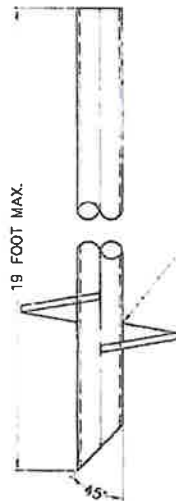
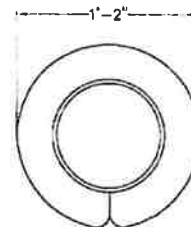
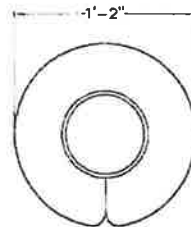
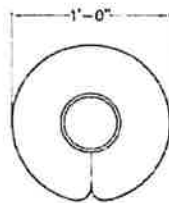
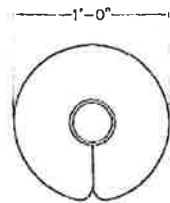


TYPICAL SPLICE DETAIL



TYPICAL SPLICE DETAIL  
W/ EXTRA WASHER

| NOTES                                                                                |                         |               |        |
|--------------------------------------------------------------------------------------|-------------------------|---------------|--------|
|                                                                                      |                         |               |        |
| ENG. RECORD No: 20-21568                                                             |                         | APP'D:        |        |
|   |                         |               |        |
| 4                                                                                    |                         |               |        |
| 3                                                                                    |                         |               |        |
| 2                                                                                    |                         |               |        |
| 1                                                                                    |                         |               |        |
| 0                                                                                    | ISSUED FOR CONSTRUCTION | A.P.<br>AT    | 21MAY2 |
| REV                                                                                  | DESCRIPTION             | DWN<br>CHK    | DATE   |
|  |                         |               |        |
| DESIGN PROFILE                                                                       |                         |               |        |
| KGP Co.                                                                              |                         |               |        |
| 45m 84LDSS TOWER                                                                     |                         |               |        |
| ARROW TECHNOLOGY GROUP                                                               |                         |               |        |
| SITE CODE:                                                                           |                         | DATE: 21MAY24 |        |
| WTC CODE: WTC03532                                                                   | DWN: A.P.               | CHK: AT       |        |
| JOB No: 20-21568                                                                     | DWA No:                 | A01-1         |        |



**3" NOM. Sch.40**  
 (3.5" OD x 0.216 w.t.)  
 PIPE MATERIAL GRADE: A106 Gr.B  
 HELIX IS 1/2" PLATE - 44W  
 HELIX RATED 7,200 LBS AXIAL  
 MAXIMUM INSTALL TORQUE 5,900 FT-LBS

**4" NOM. Sch.40**  
 (4.5" OD x 0.237 w.t.)  
 PIPE MATERIAL GRADE: A106 Gr.B  
 HELIX IS 1/2" PLATE - 44W  
 HELIX RATED 9,800 LBS AXIAL  
 MAXIMUM INSTALL TORQUE 10,900 FT-LBS

**6" NOM. Sch.40**  
 (6.625 OD x 0.280 w.t.)  
 PIPE MATERIAL GRADE A106 Gr.B  
 HELIX IS 1/2" PLATE - 44W  
 HELIX RATED 15,200 LBS AXIAL  
 MAXIMUM INSTALL TORQUE 18,500 FT-LBS

**8" NOM. Sch.40**  
 (8.625 OD x 0.322 w.t.)  
 PIPE MATERIAL GRADE A106 Gr.B  
 HELIX IS 1/2" PLATE - 44W  
 HELIX RATED 25,600 LBS AXIAL  
 MAXIMUM INSTALL TORQUE 56,700 FT-LBS

#### NOTE:

1. ALL WELDS TO CSA W59-LATEST.
2. ALL WELDS WITH E7018-1 ELECTRODE.
3. HELIX RATED AS ABOVE CAPACITY AT FACTOR OF SAFETY OF 3.0.
4. HELICAL PILE CAPACITY DEPENDENT ON A NUMBER OF FACTORS INCLUDING DEPTH, SOIL CONDITION, THEREFORE IT IS RECOMMENDED THAT THE INSTALLED PILES BE LOAD TESTED PRIOR TO USE.
5. MAXIMUM TORQUE INSTALLATION AS ABOVE - BASED ON 0.58 OF YIELD STRENGTH.
6. \*IF IN DOUBT - ASK!



ALBERTA PERMIT NUMBER P-7518



**Kodiak**  
 Engineering Ltd.

Office: (780) 414-2126 | 101A, 957 1st St  
 Fax: (780) 414-2780 | Sherwood Park, AB  
 Cell: (780) 610-3533 | T8A 4N8

INFORMATION INCLUDED IN THIS DRAWING IS PROPRIETARY AND IS NOT TO BE REPRODUCED, COPIED OR DISCLOSED EXCEPT AS SPECIFICALLY AUTHORIZED IN WRITING BY KODIAK ENGINEERING LTD.

RAINBOW ANCHORS  
 FOUR STANDARD HELICAL PILES  
 DETAILS

|         |                   |  |  |     |
|---------|-------------------|--|--|-----|
| 03/2023 | UPDATE STAMP DATE |  |  | FEY |
|         |                   |  |  |     |
|         |                   |  |  |     |

FILE No. DATE DRAWN CHECKED TMO, H.A.



## **PUBLIC NOTICE**

### **Proposed Telecommunications Tower Installation**

Arrow Technology Group is proposing to construct 1 new telecommunication tower in the county of Northern Lights. This notice is being provided in accordance with the requirements of the local land use Authority.

#### **Proposed Tower Details:**

45-meter tall self-supporting allweld steel tower on pile footing, with safety light, and lightning protection. Tower will be in a 3m by 3m fenced compound. Fence height 2.25m.

**Location M10: [SE-27-91-21-W5], GPS Coordinates: [56.97586, -117.50677]**

**Purpose:** This tower is to improve last mile internet coverage to rural home of Northern Lights County.

**Alternative Sites:** Several locations were considered. These proposed sites were selected as the best options to achieve the required network objectives while minimizing impact on the surrounding area.

**Visual Impact:** Efforts have been made to minimize the visual impact of the proposed towers.

**Safety:** The proposed towers will be built in compliance with Health Canada's Safety Code 6 for the protection of the general public including any combined effects of nearby installations within the local radio environment.

**Public Consultation:** Arrow Technology Group invites you to provide comments about this proposal. Your comments are important to us.

The public consultation period will be open for 30 days from the date of this notice.

To submit comments or for more information about this proposal, please contact:

Arrow Technology Group  
Attention: Bruce Burman  
18236 – 102 Avenue, Edmonton, Ab, T5S 1S7  
Email: [bruce@atg.net](mailto:bruce@atg.net)  
Phone: (780) 239-8318

#### **Anticipated Project Timeline:**

Public Consultation Period: May 1 to Jun 1 2026

Anticipated Construction Start: June 30, 2026

Anticipated In-Service Date: July 30, 2026

All comments received will be considered. A written response addressing all reasonable and relevant concerns will be provided within 7 days of comment receipt.



**ATTENTION:** Monica  
**Publication:** Mile Zero-Banner Post  
**Publishing:** April 29, 2026  
**Size:** 3 col. X 119 lines  
**Total Cost:** \$311.13/wk

**NOTE:** To ensure the ad is published in the edition noted above, please reply with any changes by the deadline below. Price quoted below is for **ONE** week including G.S.T.

**DEADLINE FOR NEXT EDITION**  
**FRI, APRIL 24 @ NOON**

RESPONSIBILITY FOR ERRORS OR  
OMISSIONS ARE ASSUMED BY THE  
ADVERTISER UPON RECEIPT OF PROOF.



Ph: 780-926-2000 Direct: 780-926-2001  
**Advertising Rep: Nikki Coles**

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sent to [echo@mmnews.ca](mailto:echo@mmnews.ca)*



## **PUBLIC NOTICE** **Proposed Telecommunications** **Tower Installation**

Arrow Technology Group is proposing to construct 1 new telecommunication tower in the county of Northern Lights. This notice is being provided in accordance with the requirements of the local land use Authority.

### **Proposed Tower Details:**

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**Location M10:** [SE-27-91-21-W5], **GPS Coordinates:** [56.97586, -117.50677]

**Purpose:** This tower is to improve last mile internet coverage to rural home of Northern Lights County.

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Arrow Technology Group  
Attention: Bruce Burman  
18236 – 102 Avenue, Edmonton, AB, T5S 1S7  
Email: [bruce@atg.net](mailto:bruce@atg.net)  
Phone: (780) 239-8318

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Anticipated Construction Start: June 30, 2026

Anticipated In-Service Date: July 30, 2026

All comments received will be considered. A written response addressing all reasonable and relevant concerns will be provided within 7 days of comment receipt.

**PLEASE NOTE:** Unfortunately, there is no account with Mackenzie Report Inc., Therefore payment must be received prior to the deadline above. Visa and Master Card are accepted. If you wish to pay by credit card, please fill out the Credit Card Authorization form and return to [MZBPadvertise@mrnews.ca](mailto:MZBPadvertise@mrnews.ca)

### **ADVERTISEMENT APPROVAL**

**PRINT NAME:** \_\_\_\_\_ **SIGNATURE:** \_\_\_\_\_



## APPLICANT STATEMENT REGARDING ABANDONED WELLS

In accordance with the Municipal Government Act Subdivision and Development Regulation

I, Arrow Technology Group, registered owner (or  
(Please Print)

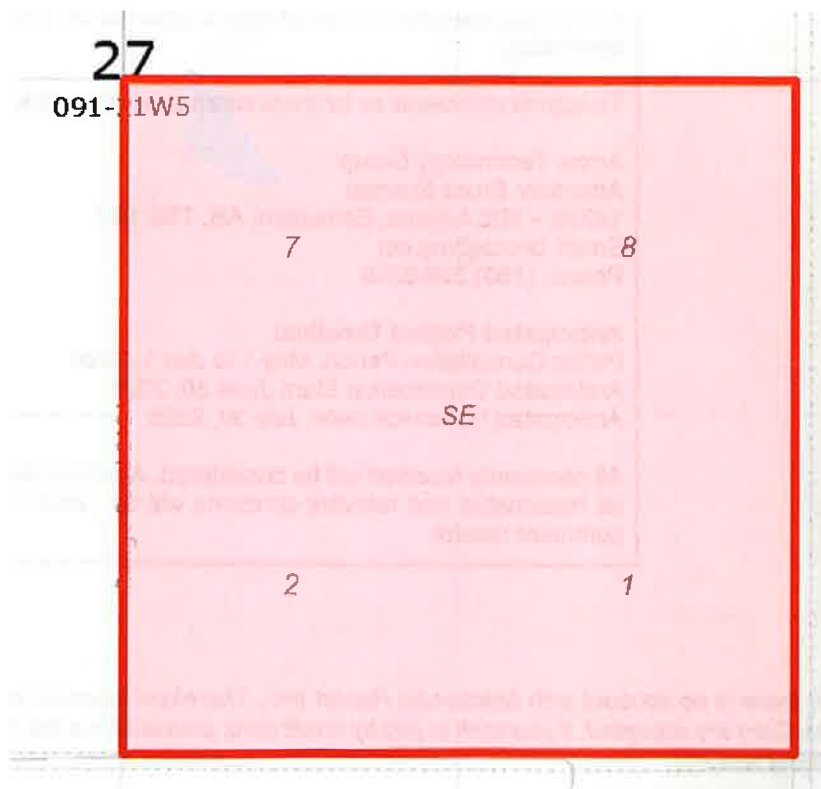
their agent) of SE 27 91 21 W5, have consulted the Energy  
(Legal Land Description)

Resources Conservation Board (ERCB) Abandoned Well Map Viewer, and verified that **there are no abandoned wells** located the property subject to this application. A copy of the ERCB map showing the subject property is attached.

\_\_\_\_\_  
Signature of registered owner (or agent)

6/15/26

\_\_\_\_\_  
Date





To: **Reeve and Council – County of Northern Lights**  
Attention: **Mr. Gerhard Stickling, Chief Administrative Officer**  
Cc: **David Schoor**  
Applicant: **Landowner(s)**  
From: **Gail Long**

Date: **July 14, 2026**

Project No.: **17128 – DP26-16**

## Application

The applicant proposes to construct a 223 m<sup>2</sup> (18.29 m x 12.2 m) or 2,400 ft<sup>2</sup> (60 ft x 40 ft) accessory building (detached garage) with a 27 m<sup>2</sup> (290 ft<sup>2</sup>) mezzanine on Lot 1, Block 1, Plan 2621178 on N18-84-21-W5M. The proposed building will be located 17 m (56 ft) from the side property boundary adjacent the County's road right-of-way (Township Road 842A). The proposed building will have a maximum of 7.38 m (24.2 ft) in height from finished grade to peak.

The development will require a variance to reduce the setback from Township Road 842A from 41m (131 ft) to 17m (55 ft), and an increase in building height from 6.1 m (20 ft) to 7.4 m (24.2 ft).

## Site and Surrounding Lands

The site is designated Agriculture General (A) District and located south of Township Road 842A and 3.2 km north of Peace River town limits. The site contains a driveway, residence and existing garage, and accessory buildings. The balance of the lands contains trees and agriculture land. Lands adjacent to the site are zoned A District while the quarter sections to the south and southeast are zoned Crown Land (CL) District.

The site is within the historical value (HRV) classified land designation and an environmentally sensitive area, and is partially within the Key Wildlife Biodiversity Zone. The site is not within the Grimshaw Gravels Aquifer or an environmentally sensitive wildlife area.

## Access and Servicing

Access to the site is provided from Township Road 842A, which has a collector road classification.

An overhead powerline located north of Township Road 842A provides power to the site and there are low pressure gas lines owned by North Peace Gas Coop. There are no well sites, record of any spills or contamination, high pressure gas lines, or County water lines on the site.

Potable water is provided to the site by the Weberville Water Coop.

## Compliance with Approved Plans and Land Use Compatibility

The proposed development conforms to the County's Municipal Development Plan.

Regulation I.31.1 of the County's Land Use Bylaw (LUB) requires any building or structure to be setback from the adjacent roadway a minimum of 41 m (131 ft) from the right-of-way boundary (property line), unless otherwise required by the Development Authority. In contrast, the proposed building will be located with a setback distance of 17 m (55 ft) from the County road right-of-way boundary (property line). Meanwhile Regulation I1.6 requires an accessory building to be not more than 6.1 m (20 ft) in height unless otherwise approved by the Development



Authority. The proposed building has a maximum height of 7.4 m (24.2 ft) from finished grade to peak. A variance will be required to allow the proposed development.

The proposed variance to the setback from Township Road 842A is reasonable to allow the applicant unhindered access to the proposed building due to the proximity of other buildings located on the parcel. The building height is marginally different from the required height, meets the purpose of the A District, and is compatible with adjacent lands.

### Circulation Comments

The application was circulated to referral agencies and to adjacent landowners. Responses were received from Forestry & Parks, Telus, and the County's Public Works Department, all indicating they had no concerns with the proposed application. No additional comments were received.

### Recommendation

It is recommended that the application for an accessory building (detached garage) to be located on Lot 1, Block 1, Plan 2621178 on N18-84-21-W5M with a variance to the setback requirement adjacent the County road right-of-way, and a variance to the maximum height for an accessory building, be **APPROVED** subject to the following conditions:

1. The development proceeds in accordance with the attached plans and site plan to reflect the proposed location on Lot 1, Block 1, Plan 2621178.
2. The applicant shall comply with the uses and regulations of the Agriculture General (A) District.
3. The applicant/owner may be required to enter into and comply with a development agreement with the County to include, but not limited to, the removal of an approach, construction of a new approach, or the upgrading of an approach. When installing approaches or culverts the applicant/owner shall contact the County of Northern Lights Public Works Department to ensure the approaches are constructed in accordance with County standards. Any costs incurred will be the responsibility of the applicant/owner.
4. The shop building shall be situated within the property boundaries a minimum distance of 17 m (55 ft) from the road right-of-way.
5. The shop building shall be no more than 7.4 m (24.2 ft) in height.
6. Exterior finish to be wood, metal or similar siding, brick or stucco to the satisfaction of the Development Authority. The finish and appearance should complement other structures and natural features.
7. The applicant/owner shall contact an accredited agency contracted by the Alberta Safety Codes Authority to obtain the following permits or approval applicable: Building Permit – Provincial Plumbing Permit – Gas Permit – Electrical Permit. A copy of the approved permits must be submitted to the County of Northern Lights for their files.
8. The applicant shall obtain other approvals required by other regulatory approvals throughout the course of the development and its operation.
9. No further development or construction shall be allowed without an approved Development Permit.
10. The decision being posted on the County website and advertised in a local newspaper and no appeal against said decision being successful.





# DEVELOPMENT PERMIT APPLICATION FORM A

"An Agriculture Based Community"

FOR ADMINISTRATIVE USE

APPLICATION NO.  
DP 26-16

DATE RECEIVED  
May 18, 2026

ROLL NO.  
203229

County of Northern Lights, # 600, 7<sup>th</sup> Ave. NW Box 10, Manning, AB, T0H 2M0

W: [www.countyofnorthernlights.com](http://www.countyofnorthernlights.com) | E: [development@countyofnorthernlights.com](mailto:development@countyofnorthernlights.com) | T: (780) 836-3348 | F: (780) 836-3663

I / We hereby make application under the provisions of the Land Use Bylaw for a Development Permit in accordance with the plans and supporting information submitted herewith and form part of this application. I / We understand that this application will not be accepted without the following:

- (a) application fee;
- (b) site plan sketch that includes all relevant detail to the proposed development (e.g.: proposed and existing structures, property lines, creeks/ravines, parking and vehicle access, building plans, etc.)

| APPLICANT INFORMATION                                                                         |             |             | COMPLETE IF DIFFERENT FROM APPLICANT |             |             |
|-----------------------------------------------------------------------------------------------|-------------|-------------|--------------------------------------|-------------|-------------|
| NAME OF APPLICANT                                                                             |             |             | NAME OF REGISTERED OWNER             |             |             |
| ADDRESS                                                                                       |             |             | ADDRESS                              |             |             |
|                                                                                               |             |             |                                      |             |             |
| POSTAL CODE                                                                                   |             |             | POSTAL CODE                          |             |             |
| EMAIL ADDRESS*                                                                                |             |             | EMAIL ADDRESS*                       |             |             |
| *By supplying the County with an email address, you agree to receive correspondence by email. |             |             |                                      |             |             |
| PHONE (CELL)                                                                                  | PHONE (RES) | PHONE (BUS) | PHONE (CELL)                         | PHONE (RES) | PHONE (BUS) |

| LAND INFORMATION                                                                                             |                                                                         |
|--------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------|
| Municipal Address (if applicable): <u>215039 - 842A</u>                                                      |                                                                         |
| Legal description (if applicable): Registered Plan: _____ Block: _____ Lot (parcel): _____                   |                                                                         |
| QTR/LS: <u>NW</u> Section: <u>18</u> Township: <u>84</u> Range: <u>21</u> Meridian: <u>W5M</u>               |                                                                         |
| Size of the Parcel to be developed _____ <input type="checkbox"/> Acres or <input type="checkbox"/> Hectares |                                                                         |
| Description of the existing use of the land: <u>PERSONAL DWELLING</u>                                        |                                                                         |
| Proposed Development: <u>NEW GARAGE</u>                                                                      |                                                                         |
| Circle any proposed uses(s):                                                                                 |                                                                         |
| <input type="checkbox"/> SIGN(S)                                                                             | <input type="checkbox"/> CULVERT(S)/ ROAD ACCESS POINT(S)               |
| <input type="checkbox"/> DWELLING UNIT(S)                                                                    | <input type="checkbox"/> ACCESSORY STRUCTURE(S)/ USE(S)                 |
| <input type="checkbox"/> HOME BASED BUSINESS                                                                 | <input type="checkbox"/> COMMERCIAL OR INDUSTRIAL STRUCTURE(S)/ USES(S) |
| <input type="checkbox"/> PUBLIC USE(S)/ UTILITIES                                                            |                                                                         |
| <input checked="" type="checkbox"/> SHED/GARAGE/BARN(S)                                                      |                                                                         |
| <input type="checkbox"/> OTHER (SPECIFY)                                                                     |                                                                         |
| Estimated:                                                                                                   | Date of Commencement: <u>JUNE 15, 26</u>                                |
| Date of Completion: <u>AUG 30, 26</u>                                                                        | Value of Construction: \$ _____                                         |

**PROPOSAL INFORMATION**

DEVELOPMENT IS: ☒ NEW ☐ EXISTING ☐ ALTERATION TO EXISTING

LAND IS ADJACENT TO ☐ PRIMARY HIGHWAY ☒ LOCAL ROAD ☐ INTERNAL SUBDIVISION ROAD ☐ OTHER

LOT AREA: \_\_\_\_\_ LOT WIDTH: \_\_\_\_\_ LOT LENGTH: \_\_\_\_\_ PERCENTAGE OF LOT OCCUPIED: \_\_\_\_\_%

PRINCIPAL BUILDING SETBACK: FRONT \_\_\_\_\_ REAR \_\_\_\_\_ SIDES: \_\_\_\_\_/\_\_\_\_\_/\_\_\_\_\_ HEIGHT \_\_\_\_\_

ACCESSORY BUILDING SETBACK: FRONT \_\_\_\_\_ REAR \_\_\_\_\_ SIDES: \_\_\_\_\_/\_\_\_\_\_/\_\_\_\_\_ HEIGHT \_\_\_\_\_

**ADDITIONAL INFORMATION INCLUDED**

☒ SITE PLAN ☒ FLOOR PLAN ☐ LAND TITLE ☐ ABANDONED OIL WELL DECLARATION SIGNED

☐ ALBERTA NEW HOME WARRANTY / OR PROOF OF EXEMPTION ☐ DISTANCE TO ROAD / HIGHWAY \_\_\_\_\_

ADDITIONAL INFORMATION AS REQUIRED:

☐ ELEVATIONS ☐ SOIL TESTS ☐ HOURS OF OPERATION \_\_\_\_\_

☐ NUMBER OF DWELLING UNITS \_\_\_\_\_ ☐ NUMBER OF EMPLOYEES \_\_\_\_\_

☐ PROPOSED BUSINESS ACTIVITIES \_\_\_\_\_

☐ LANDOWNER LETTER OF AUTHORIZATION ☐ ADJACENT LANDOWNER LETTERS OF SUPPORT

**MANUFACTURED HOME (MOBILE HOME)**

SERIAL NUMBER: \_\_\_\_\_ YEAR BUILT: \_\_\_\_\_ SIZE: WIDTH \_\_\_\_\_ LENGTH \_\_\_\_\_

**DECLARATION**

I/WE HEREBY AUTHORIZE REPRESENTATIVES OF THE COUNTY TO ENTER MY/OUR LAND FOR THE PURPOSE OF CONDUCTING A SITE INSPECTION IN CONNECTION WITH THIS APPLICATION

I/WE HEREBY DECLARE THAT THE ABOVE INFORMATION IS, TO THE BEST OF MY/OUR KNOWLEDGE, FACTUAL AND CORRECT

**NOTE:**

Signature of Registered  
Landowner required if different  
from Applicant

May 11, 26  
Date

\_\_\_\_\_  
SIGNATURE OF APPLICANT

\_\_\_\_\_  
Date

\_\_\_\_\_  
SIGNATURE OF REGISTERED LANDOWNER / LEASEHOLDER

**FOR ADMINISTRATIVE USE**

LAND USE DISTRICT: Agriculture General (A) District

FEE ENCLOSED: YES ☐ NO ☐ AMOUNT: \$ 100.00

RECEIPT NO.: 233367

DEFINED USE: Detached Garage with Variance

PERMITTED/DISCRETIONARY: Discretionary Use

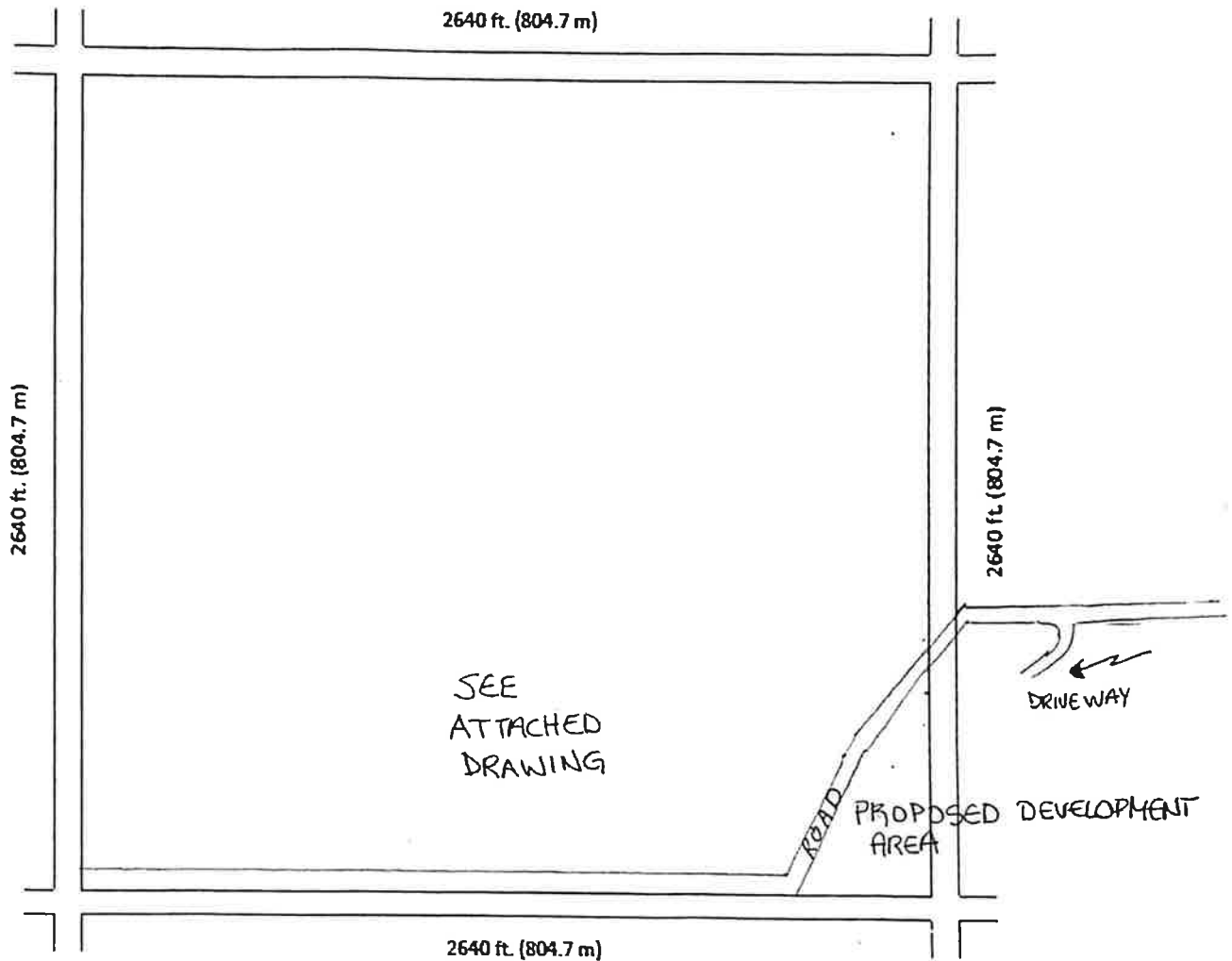
VARIANCE: \_\_\_\_\_

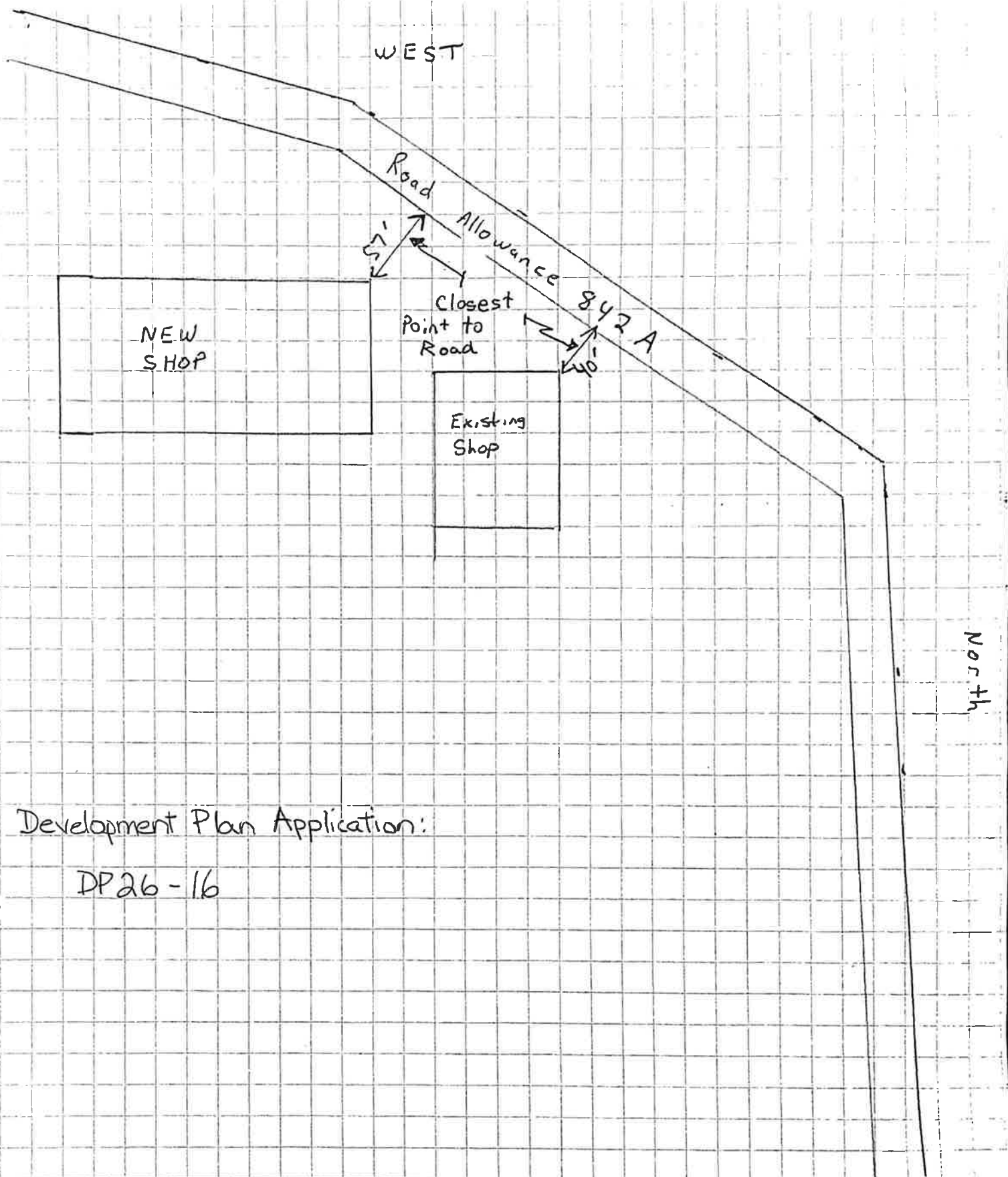
## PROPOSED DEVELOPMENT SKETCH

LEGAL NW  $\frac{1}{4}$  SEC 18 TWP 84 RG 21 W 5 M

- ┌ Parcel Boundaries/dimensions (feet, meters, etc.).
- ┌ Locate developed road allowance(s) and access points(s).
- ┌ Distance from all proposed boundary lines to all non-movable buildings (if applicable).
- ┌ Distance from residence to drinking water supply, sewage system outlet and all boundary lines (if applicable).
- ┌ Distance from sewage outlet to water supply and all boundary lines (if applicable).
- ┌ Distance from water supply to all proposed boundary lines (if applicable).
- ┌ Locate additional residence(s) on the  $\frac{1}{4}$  section (if applicable).
- ┌ Locate shelterbelts, creeks, rivers, drainage ditches, railways, etc.

North





Development Plan Application:

DP26-16





# DEVELOPMENT PERMIT APPLICATION

COUNTY OF NORTHERN LIGHTS

LEGAL: N18, Twp 84, Rge 21, W5M

FILE No. DP-26-16



SCALE 1 : 5,000

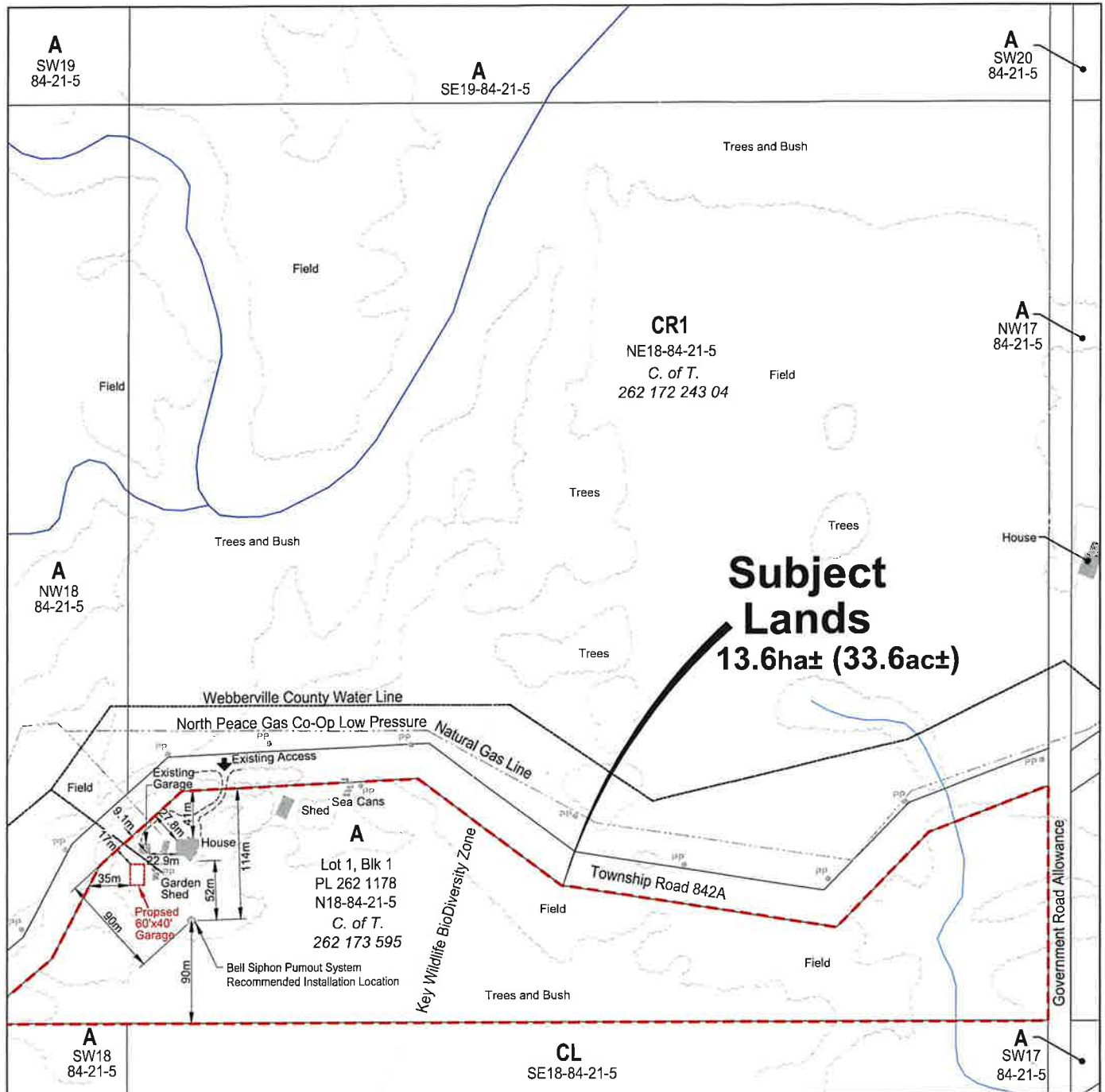
0 50 100 150 200(m)

NOTE: Improvements located as per data supplied by owner and Abadata measurements.



July 6, 2026



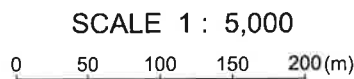
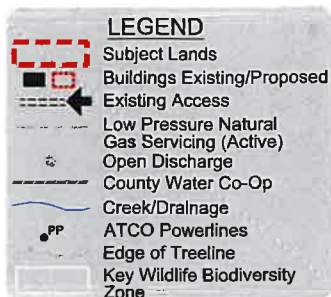


# DEVELOPMENT PERMIT APPLICATION

COUNTY OF NORTHERN LIGHTS

LEGAL: N18, Twp 84, Rge 21, W5M

FILE No. DP-26-16



NOTE: Improvements located as per data supplied by owner and Abadata measurements.



July 6, 2026



## SPECIFICATIONS

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>FOUNDATION CONSTRUCTION</b><br><br>FOOTINGS:<br>CONCRETE FOOTINGS PER<br>FOOTING SCHEDULE<br><br>WALLS:<br>CEMENT OR ACRYLIC PAVING FINISH TO 6" BELOW GRADE<br>PEEL & STICK DAMPROOFING WRAPPED OVER FOOTINGS<br>8" CONCRETE WALLS REINFORCED W/<br>10M BARS @ 24" VERTICALLY<br>10M BARS @ 24" HORIZONTALLY<br>2-10M BARS HORIZ. TIE IN TO 2" & BOTTOM ROWS<br>SHEAR KEY/ANCHOR HEBAR TO TIE TO FOOTING<br><br>DRAINAGE:<br>WEEPING TIE: 1/4" SODG (AT FOOTING LEVEL)<br>COVERED W/ WASHED ROUND ROCK<br>COVERED W/ LANDSCAPE FABRIC<br>SLOPE 1" PER 10' TO DRAINAGE OR 2"<br>TO CURB/TO EXISTING DRAINAGE<br><br><b>WALL CONSTRUCTION</b><br><br>EXTERIOR WALLS:<br>METAL CLADDING<br>TYVEK OR 15 MIL PE VAPOR WRAP (OR EQUIV.)<br>3/8" 10M U-SH SHEATHING NAILED PER FLOOR PLAN<br>2x6 STUDS @ 16" O.C. W/ R24 ETI INSULATION IN CAVITIES<br>WALL POLYETHYLENE VAPOUR BARRIER<br>1/2" DRYWALL, PAINTED<br><br>INTERIOR WALLS:<br>2x4 STUDS @ 16" O.C. @ 24" O.C.<br>1/2" DRYWALL ON FINISHED SIDES<br><br><b>FLOOR CONSTRUCTION</b><br><br>SLAB:<br>4" CONCRETE SLAB REIN W/ 10M BARS @ 16" W/W<br>MIN. 1 1/2" RIGID INSULATION<br>SAIL POLY VAPOUR BARRIER<br>1 1/4" 4" COMPACTED GRANULAR FILL<br><br><b>MEZZANINE</b><br><br>FRESH FLOORING:<br>3/4" 1/2" OSB SUBFLOOR (SCREWED AND GLUED)<br>9X10 PER ENGINEERED JOISTS PER SUPPLIER'S ALLOW | <b>OTHER INSULATION</b><br><br>JOIST SPACES:<br>2" MED DENSITY SP/NOV INSULATION<br>EFFECTIVE RSI = 3.28<br><br><b>WINDOW AND DOOR LINTELS</b><br><br>WINDOWS 4 PASSAGE DOORS 2-P-2X10 5-P-6 NO 2 OR BETTER<br>OVERHEAD DOORS LVL LINTELS AS INDICATED ON FLOOR PLAN<br><br><b>ROOF &amp; CEILING CONSTRUCTION</b><br><br>ROOF:<br>METAL ROOFING<br>METAL ROOFING UNDERLAY<br>15M 1/2" SHEATHING OVER W/ CLIPS<br>ENVELOPED ROOF: TRUSSES @ 24" O.C. (AS PER LAYOUT)<br>15M 1/2" 2X10'S OR 2X12'S (AS PER LAYOUT) @ 24" O.C.<br><br>SOFFITS, FASCIA, EAVES TROUGHES AND DOWN SPOUTS<br>PREFINISHED ALUMINUM<br><br>CEILINGS:<br>14" (RSJ) LOOSE FILT INSULATION (FLAT CEILING/ARCHES)<br>EFFECTIVE RSI = 6.65<br><br><b>IMPORTANT NOTES</b><br>CONCRETE COMPRESSIVE STRENGTH @ 28 DAYS<br>UNLESS OTHERWISE NOTED TO SUIT SOIL CONDITIONS TO BE MINIMUM:<br>- 15 MPa FOR WALLS, FOOTINGS, FOUNDATIONS, WALLS<br>GRADE BEAMS, PLINGS<br>- 20 MPa FOR BASEMENTS/CRAM, SPACE FLOORING<br>- 25 MPa FOR GRADE SLABS, EXTERIOR STEPS<br>ALL REINFORCING STEEL TO HAVE 400 MPa MIN. YIELD STRENGTH<br>MIN. LAPPING: 10M BARS = 15", 10M BARS = 25"<br>ALL LUGGER TO BE 5-P-10 NO 2 OR BETTER<br>OPTIONAL: FIN-GR JOIST STUDS |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

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**RESPONSIBILITY**  
TO THE BEST OF OUR KNOWLEDGE, THESE PLANS WERE DRAWN TO COMPLY WITH THE CITY OF EDMONTON BUILDING DEPARTMENT. ANY CHANGES MADE ON THESE PLANS AFTER THE DATE OF ISSUE, SHALL BE THE RESPONSIBILITY OF THE CLIENT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND REGULATORY COMPLIANCE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND REGULATORY COMPLIANCE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND REGULATORY COMPLIANCE.

THESE PLANS WERE DRAWN TO COMPLY WITH:  
- MINIMUM BUILDING CODE 2015 - ALBERTA EDITION  
- LOCAL ORDINANCES  
- LOCAL ARCHITECTURAL CONTROLS, IF APPLICABLE

THE OWNER/CLIENT/CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS, APPROVALS, AND REGULATORY COMPLIANCE. THE OWNER/CLIENT/CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS, APPROVALS, AND REGULATORY COMPLIANCE. THE OWNER/CLIENT/CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS, APPROVALS, AND REGULATORY COMPLIANCE.

**DIMENSIONS & MEASUREMENTS**  
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#### ISSUE / REVISION

| # | DATE       | DESCRIPTION               |
|---|------------|---------------------------|
| 1 | 2024/03/01 | ISSUED FOR PERMITS REVIEW |
| 2 | 2024/04/15 | REVISED PER PERMITS       |

SEALS / APPROVALS



PROJECT / CLIENT

NE-18-84-21-S  
215039 TWP RD 842A  
COUNTY OF NORTHERN LIGHTS, AB

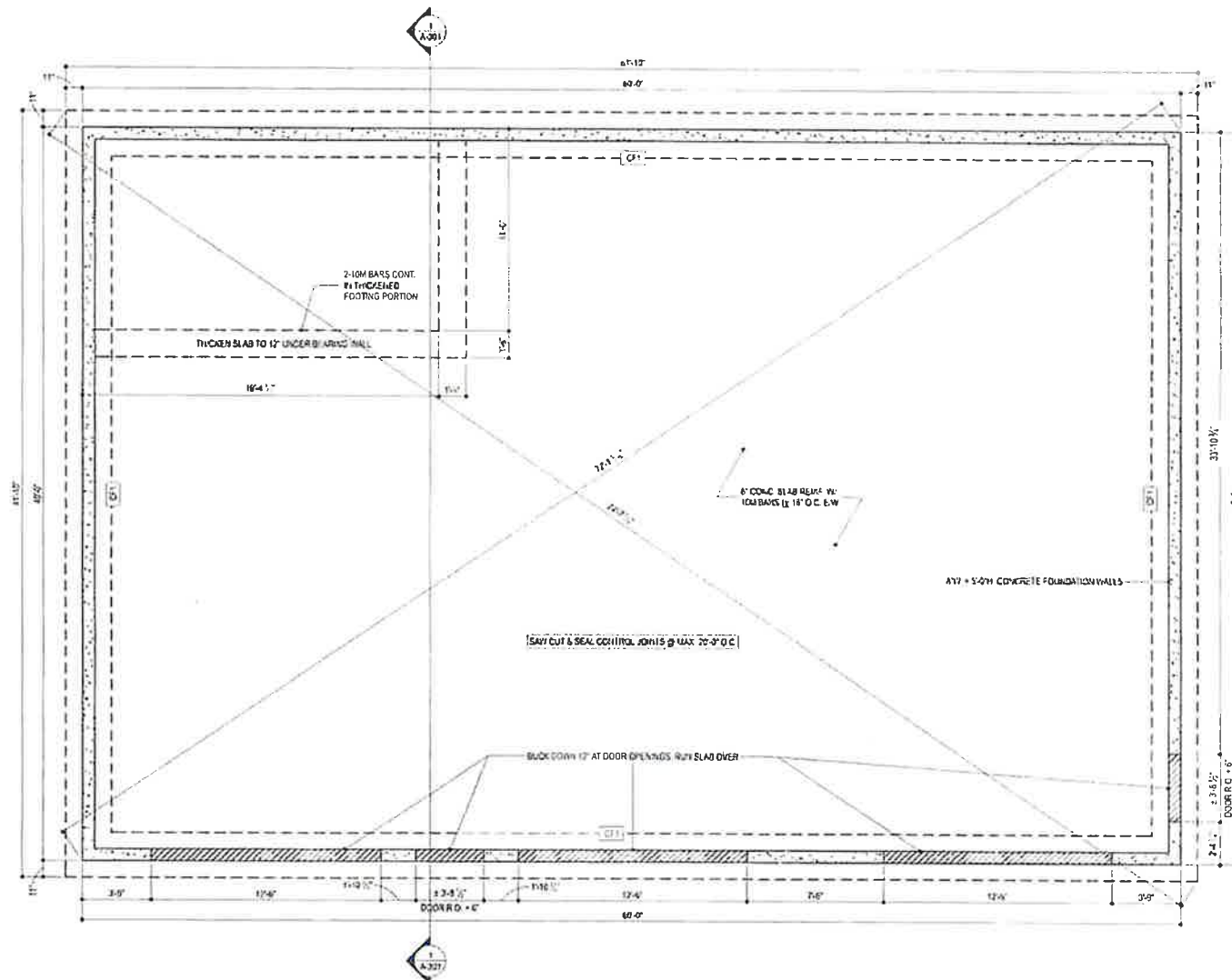
AREAS

|                                 |             |
|---------------------------------|-------------|
| TOTAL BUILDING AREA (FOOTPRINT) | 2,400 sq ft |
| DEVELOPED AREA                  |             |
| MAIN FLOOR                      | 2,400 sq ft |
| MEZZANINE                       | 290 sq ft   |
| TOTAL DEVELOPED AREA            | 2,690 sq ft |

\* AREAS CALCULATED FROM OUTLINE OF STRUCTURE  
\* EXISTING CONCRETE OF WALL OR OTHERS ARE NOT INCLUDED IN PLANS  
\* FOUNDATION WALLS ARE NOT INCLUDED  
\* MEASUREMENTS OF FOUNDATION WALLS ARE NOT INCLUDED

## FOUNDATION PLAN

**S-101**



## 1 FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

### CONT. WALL FOOTING SCHEDULE (CF)

| ID   | WIDTH | SOIL DEPTH | LONG REINFORCING             | TRANS REINFORCING      |
|------|-------|------------|------------------------------|------------------------|
| CF 1 | 2'-6" | 6"         | 3-15M BARS CONTINUOUS BOTTOM | 10M @ 12" O.C., BOTTOM |





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**RESPONSIBILITY**  
TO THE BEST OF DESIGN3 DRAFTING'S KNOWLEDGE, THESE PLANS WERE PREPARED BY A QUALIFIED PROFESSIONAL DESIGNER. DESIGN3 DRAFTING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED IN THESE PLANS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

THESE PLANS WERE PREPARED TO COMPLY WITH:  
- NATIONAL BUILDING CODE (NBC) - ALBERTA EDITION  
- LOCAL BUILDING CODES, IF APPLICABLE  
- LOCAL AUTHORITY REQUIREMENTS, IF APPLICABLE

THE OWNER/CLIENT CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. DESIGN3 DRAFTING SHALL BE RESPONSIBLE FOR THE PREPARATION OF THESE PLANS.

**ISSUE / REVISION**

| # | DATE       | DESCRIPTION               |
|---|------------|---------------------------|
| 1 | 2024/03/05 | ISSUED FOR PERMITS REVIEW |
| 2 | 2025/04/15 | REVISED PER PERMITS       |

**SEALS / APPROVALS**



PROJECT / CLIENT

NE-19-04-21-5  
215033 TWP RD 842A  
COUNTY OF NORTHERN LIGHTS, AB

**AREAS**

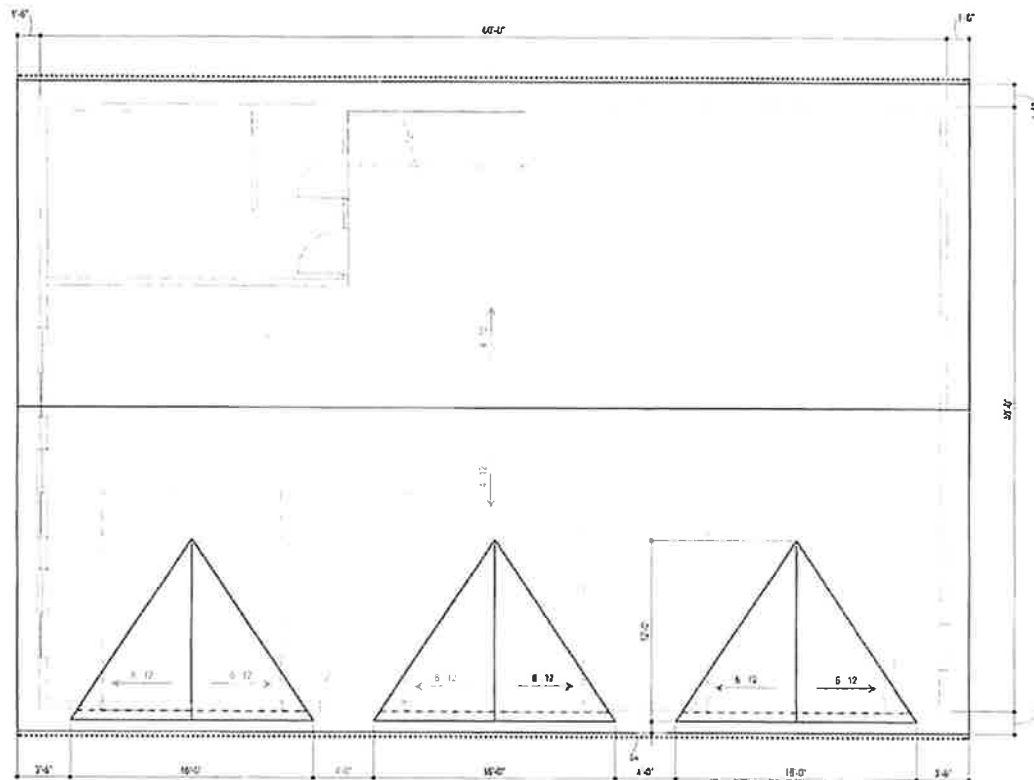
|                                 |             |
|---------------------------------|-------------|
| TOTAL BUILDING AREA (FOOTPRINT) | 2,400 sq ft |
| DEVELOPED AREA                  |             |
| MAIN FLOOR                      | 2,400 sq ft |
| MEZZANINE                       | 290 sq ft   |
| TOTAL DEVELOPED AREA            | 2,690 sq ft |

AREAS CALCULATED FROM THE FLOOR PLAN. MEASUREMENTS SHALL BE BASED ON THE DIMENSIONS SHOWN ON THE FLOOR PLAN. MEASUREMENTS SHALL BE BASED ON THE DIMENSIONS SHOWN ON THE FLOOR PLAN.

**ROOF PLAN**

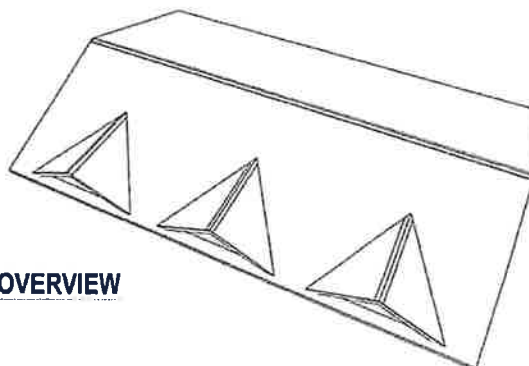
**A-102**

PAGE 4 OF 6



**1 ROOF PLAN**  
SCALE: 3/16" = 1'-0"

**2 ROOF 3D OVERVIEW**  
NTS



## HEEL HEIGHTS

SEE SECTIONS BUILDING SECTIONS

## ATTIC VENTILATION

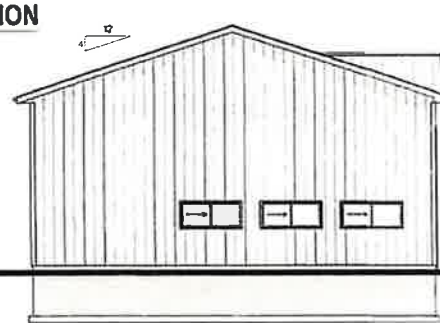
| INDICATED VENT AREA | AREA        | SUN VENT AREA (TOP & BOTTOM) |
|---------------------|-------------|------------------------------|
|                     | 2,400 sq ft | 4,000 sq ft                  |

TOP: CONTINUOUS RIDGE VENTS OR INDIVIDUAL ROOF VENTS  
BOTTOM: PERFORATED SOFFITS

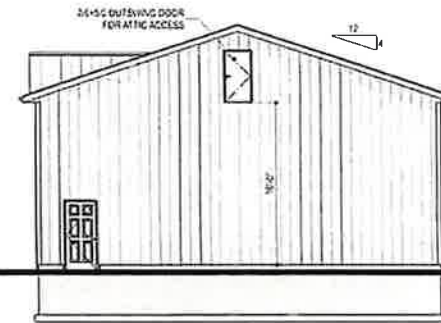
NOT A PART OF THE ROOF DESIGN. SEE THE ROOF DESIGN FOR THE ROOF DESIGN. SEE THE ROOF DESIGN FOR THE ROOF DESIGN. SEE THE ROOF DESIGN FOR THE ROOF DESIGN.



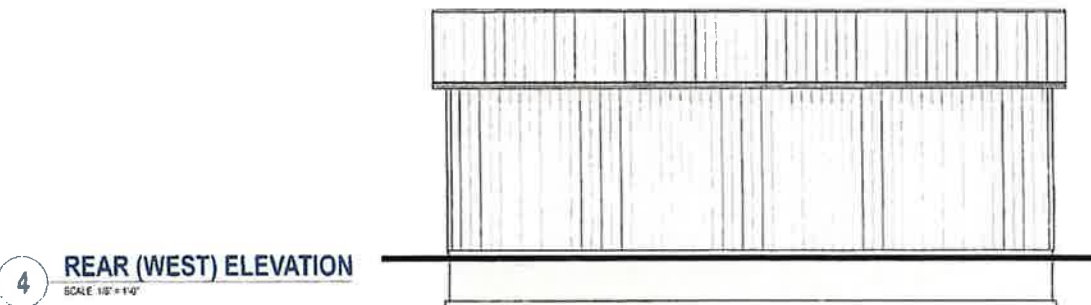
1 FRONT (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



2 LEFT (SOUTH) ELEVATION  
SCALE: 1/8" = 1'-0"



3 RIGHT (NORTH) ELEVATION  
SCALE: 1/8" = 1'-0"



4 REAR (WEST) ELEVATION  
SCALE: 1/8" = 1'-0"

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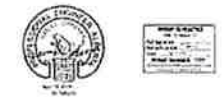
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**DIMENSIONS & MEASUREMENTS**  
DIMENSIONS FOR EXTERIOR WALLS ARE GIVEN TO THE OUTSIDE FACE OF THE WALL. ALL THE DIMENSIONS FOR INTERIOR WALLS, MEASUREMENTS SHOULD BE OBTAINED FROM FINISHED SURFACES. DIMENSIONS FOR ROOF PITCHES ARE GIVEN IN RISE OVER RUN.

| ISSUE / REVISION |                                      |
|------------------|--------------------------------------|
| #                | DESCRIPTION                          |
| 1                | 2024.03.01 ISSUED FOR PERMITS REVIEW |
| 2                | 2024.04.15 REVISED PER PERMITS       |

SEALS / APPROVALS



PROJECT / CLIENT

NE-18-04-21-5  
215039 TWP RD 642A  
COUNTY OF NORTHERN LIGHTS, AB.

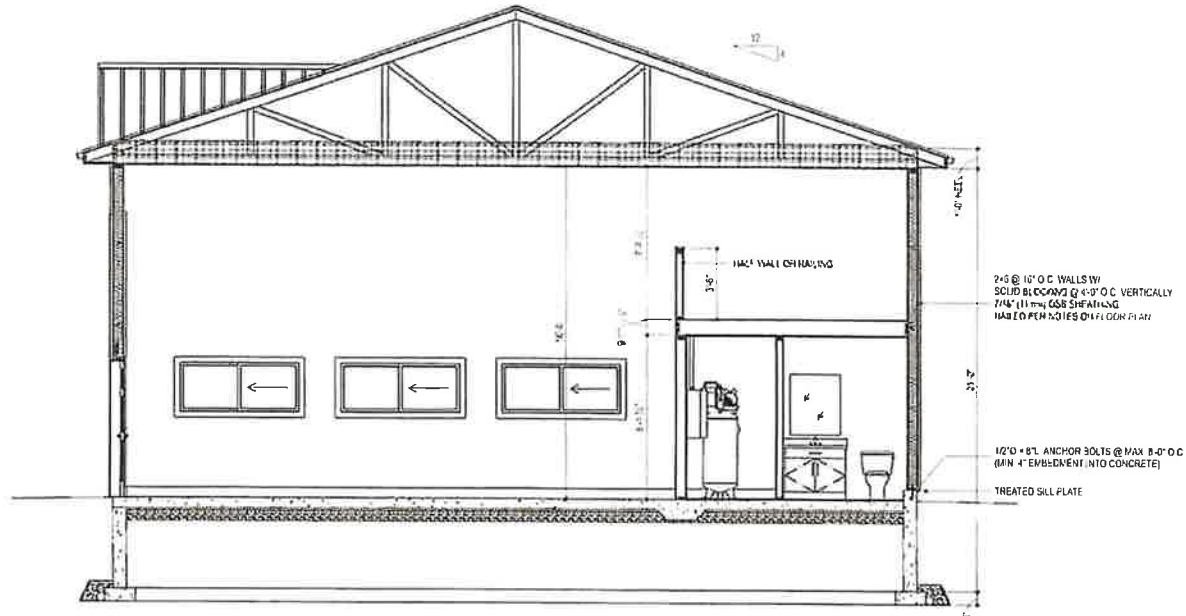
| AREAS                           |             |
|---------------------------------|-------------|
| TOTAL BUILDING AREA (FOOTPRINT) | 2,400 sq ft |
| DEVELOPED AREA                  |             |
| MAIN FLOOR                      | 2,400 sq ft |
| MEZZANINE                       | 280 sq ft   |
| TOTAL DEVELOPED AREA            | 2,680 sq ft |

\* AREAS OUTSIDE OF THE BUILDING FOOTPRINT ARE NOT INCLUDED IN THESE AREAS.  
\* THESE AREAS ARE NOT INCLUDED IN THESE AREAS.  
\* THESE AREAS ARE NOT INCLUDED IN THESE AREAS.

**EXTERIOR  
ELEVATIONS**

**A-201**

PAGE 5 OF 6



1 BUILDING SECTION, WIDTHWISE  
SCALE: 1/4" = 1'-0"

#### NOTE

ROOF AND FLOOR TRUSS SPACING CHORD & WEB CONFIGURATIONS ARE SHOWN MAINLY FOR ILLUSTRATIVE PURPOSES AND MAY DIFFER FROM FINAL PRODUCT. TRUSSES TO BE PROVISIONALLY DESIGNED BY SUPPLIER. SEE SUPPLIER, AND/OR AND/OR WINDOW TRUSSES OR/OF DRAWINGS FOR SPECIFIED SHAPING, CONFIGURATION, POINT LOAD LOCATIONS, ETC. MAJOR DISCREPANCIES BETWEEN SUPPLIER LAYOUTS AND THESE PLANS SHALL BE REPORTED TO DESIGN AND/OR SUPPLIER FOR CLARIFICATION/REVISION.

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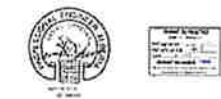
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**DIMENSIONS & MEASUREMENTS**  
ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

| ISSUE / REVISION |                                 |
|------------------|---------------------------------|
| #                | DESCRIPTION                     |
| 1                | 20240301 ISSUED FOR PERM REVIEW |
| 2                | 20240415 REVISED PER PERM       |

SEALS / APPROVALS



PROJECT / CLIENT

NE-10-04-21-6  
215039 TWP RD BAZA  
COUNTY OF NORTHERN LIGHTS, AB

| AREAS                           |             |
|---------------------------------|-------------|
| TOTAL BUILDING AREA (FOOTPRINT) | 2,498 sq ft |
| DEVELOPED AREA                  |             |
| MAIN FLOOR                      | 2,400 sq ft |
| MEZZANINE                       | 250 sq ft   |
| TOTAL DEVELOPED AREA            | 2,690 sq ft |

\* AREA CALCULATED TO FURNISH TOTAL FLOOR AREA OF BUILDING  
\* FINISH CONCRETE TOP SURF OF CEILING AREA NOTED ON PLANS  
\* AREA CALCULATED TO FURNISH TOTAL FLOOR AREA OF BUILDING  
\* FINISH CONCRETE TOP SURF OF CEILING AREA NOTED ON PLANS

#### SECTIONS

A-301

PAGE 6 OF 6





## APPLICANT STATEMENT REGARDING ABANDONED WELLS

In accordance with the Municipal Government Act Subdivision and Development Regulation

I, \_\_\_\_\_, registered owner (or  
(Please Print)

their agent) of \_\_\_\_\_ N 18 84 21 W5M \_\_\_\_\_, have consulted the Energy  
(Legal Land Description)

Resources Conservation Board (ERCB) Abandoned Well Map Viewer, and verified that **there are no abandoned wells** located the property subject to this application. A copy of the ERCB map showing the subject property is attached.

\_\_\_\_\_  
Signature of registered owner (or agent)

\_\_\_\_\_  
Date

